

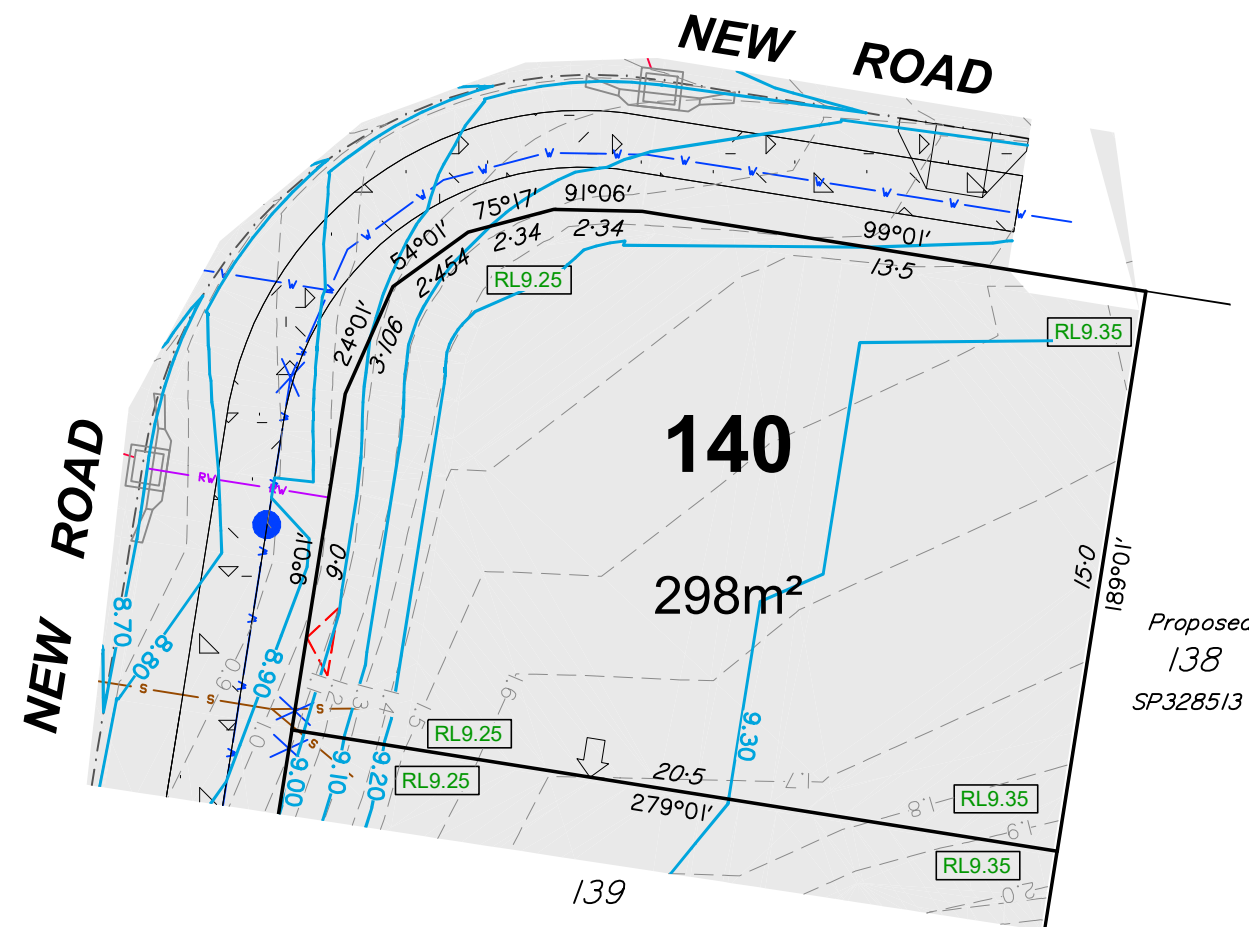
DISCLOSURE PLAN

For Proposed Lot 140
Riverbank Estate - Stage 2D

Currently Described As Part of Lot 1031 on SP342164
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay City

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by Developer)



- Notes:**
- This note is an integral part of this plan.
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 - This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN MGA
Scale 1:200 @A3
LEVEL DATUM AHD.

DATE DRAWN 21-11-2024 DRAWING NO. SB3594_2D-01-140 VERSION B

DISCLOSURE PLAN

For Proposed Lot 141
Riverbank Estate - Stage 2D

Currently Described As Part of Lot 1031 on SP342164
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay City

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the underside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by Developer)

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RIVERBANK



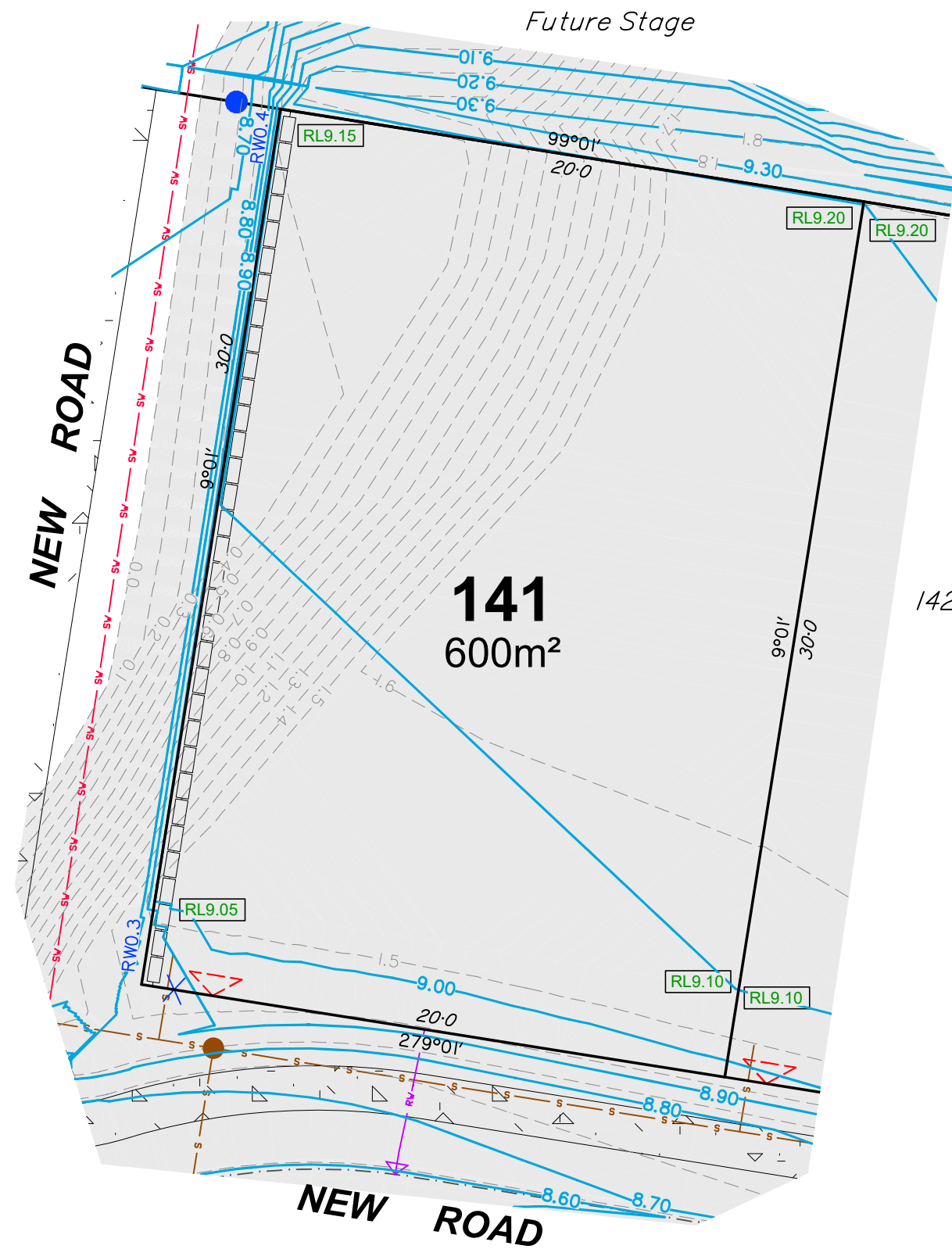
Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 21-11-2024 DRAWING NO. SB3594_2D-01-141 VERSION B



DISCLOSURE PLAN

For Proposed Lot 142
Riverbank Estate - Stage 2D

Currently Described As Part of Lot 1031 on SP342164
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay City

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - - - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - s — s Sewer/Sewer Manhole
 - sv — sv Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv — rv Roofwater/Roofwater Pit
 - Kerb Adapter
 - v — v Water/Water Fitting
 - X Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Timber Fence (Installed by Developer)

- Notes:**
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RIVERBANK



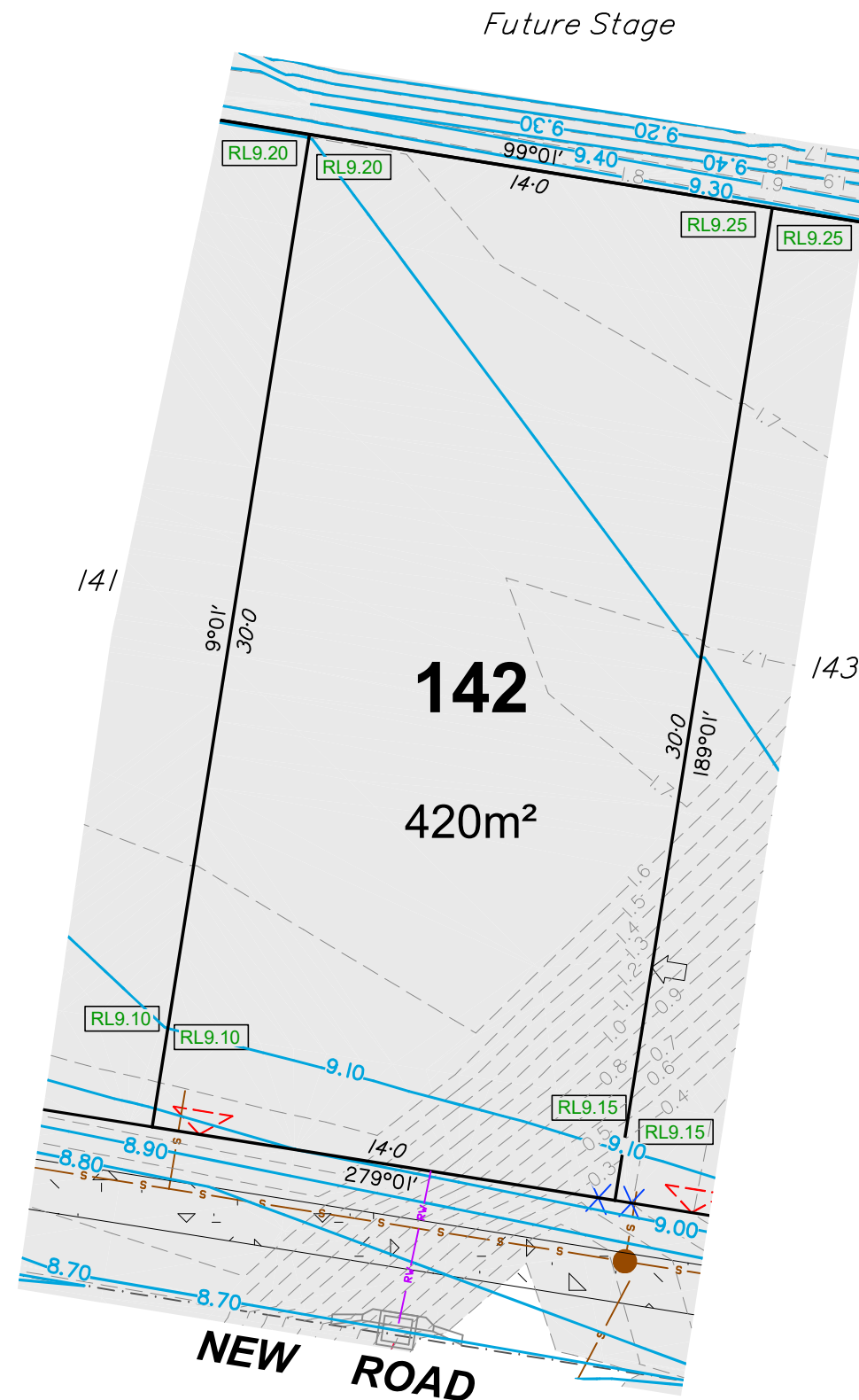
Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 21-11-2024 DRAWING NO. SB3594_2D-01-142 VERSION B



DISCLOSURE PLAN

For Proposed Lot 143
Riverbank Estate - Stage 2D

Currently Described As Part of Lot 1031 on SP342164
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay City

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - - - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - s — s Sewer/Sewer Manhole
 - sv — sv Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv — rv Roofwater/Roofwater Pit
 - Kerb Adapter
 - v — v Water/Water Fitting
 - X Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Timber Fence (Installed by Developer)

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RIVERBANK



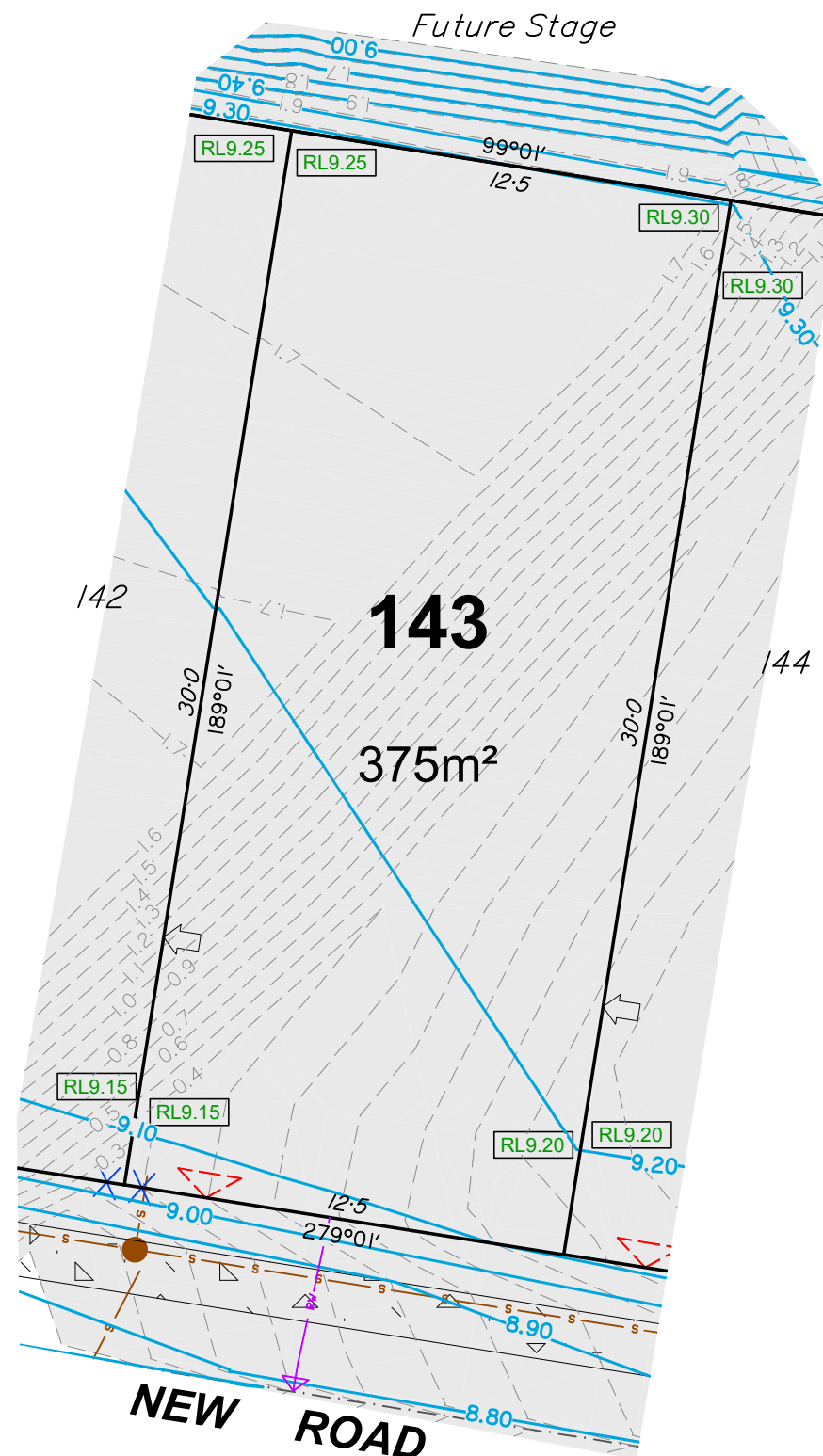
■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 21-11-2024 DRAWING NO. SB3594_2D-01-143 VERSION B



DISCLOSURE PLAN

For Proposed Lot 144
Riverbank Estate - Stage 2D

Currently Described As Part of Lot 1031 on SP342164
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay City

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the underside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by Developer)

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RIVERBANK



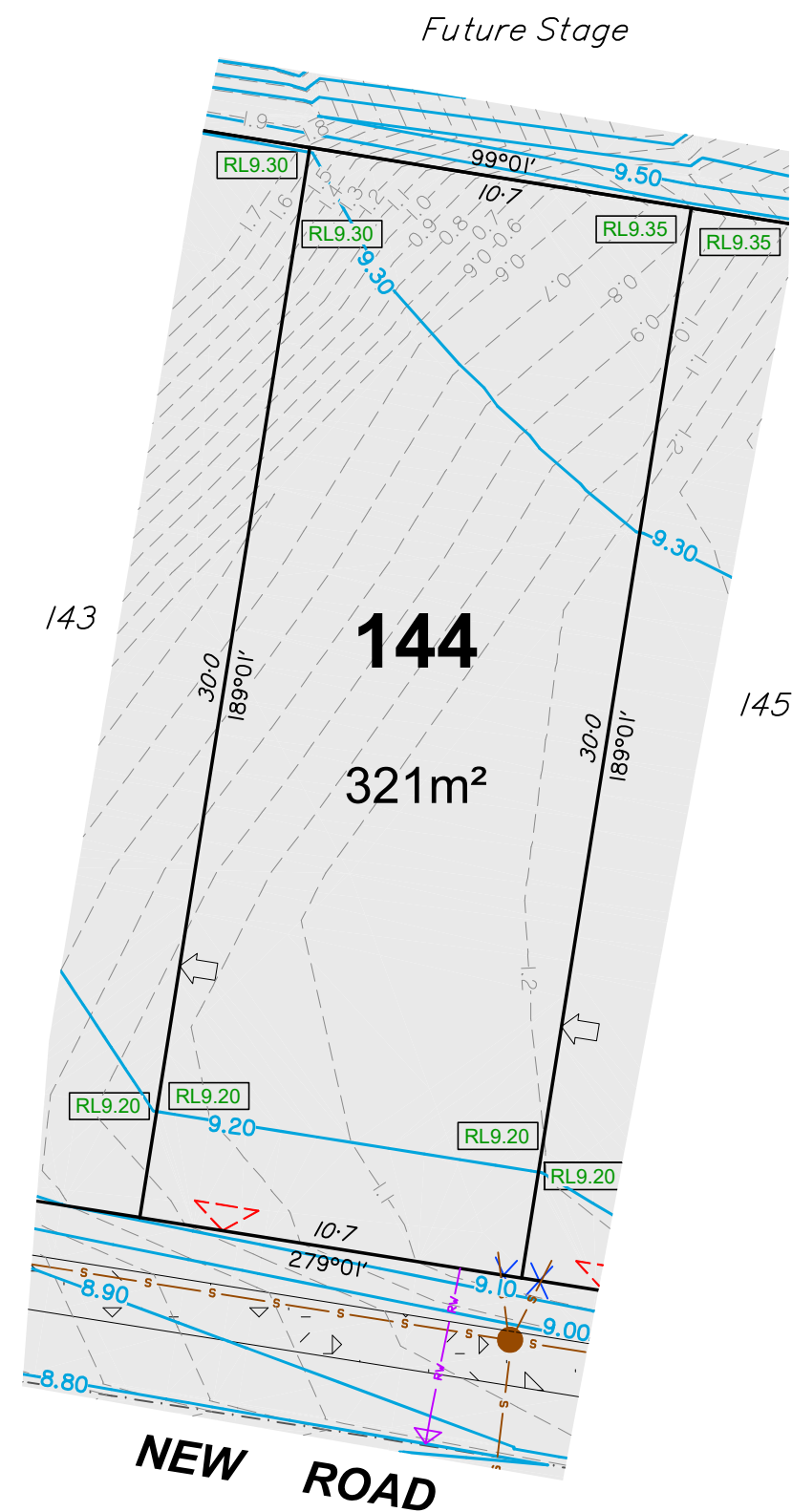
Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 21-11-2024 DRAWING NO. SB3594_2D-01-144 VERSION B



DISCLOSURE PLAN

For Proposed Lot 145
Riverbank Estate - Stage 2D

Currently Described As Part of Lot 1031 on SP342164
 RPD: Caboolture South
 Locality: Caboolture South
 Local Authority: Moreton Bay City

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the underside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by Developer)

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RIVERBANK



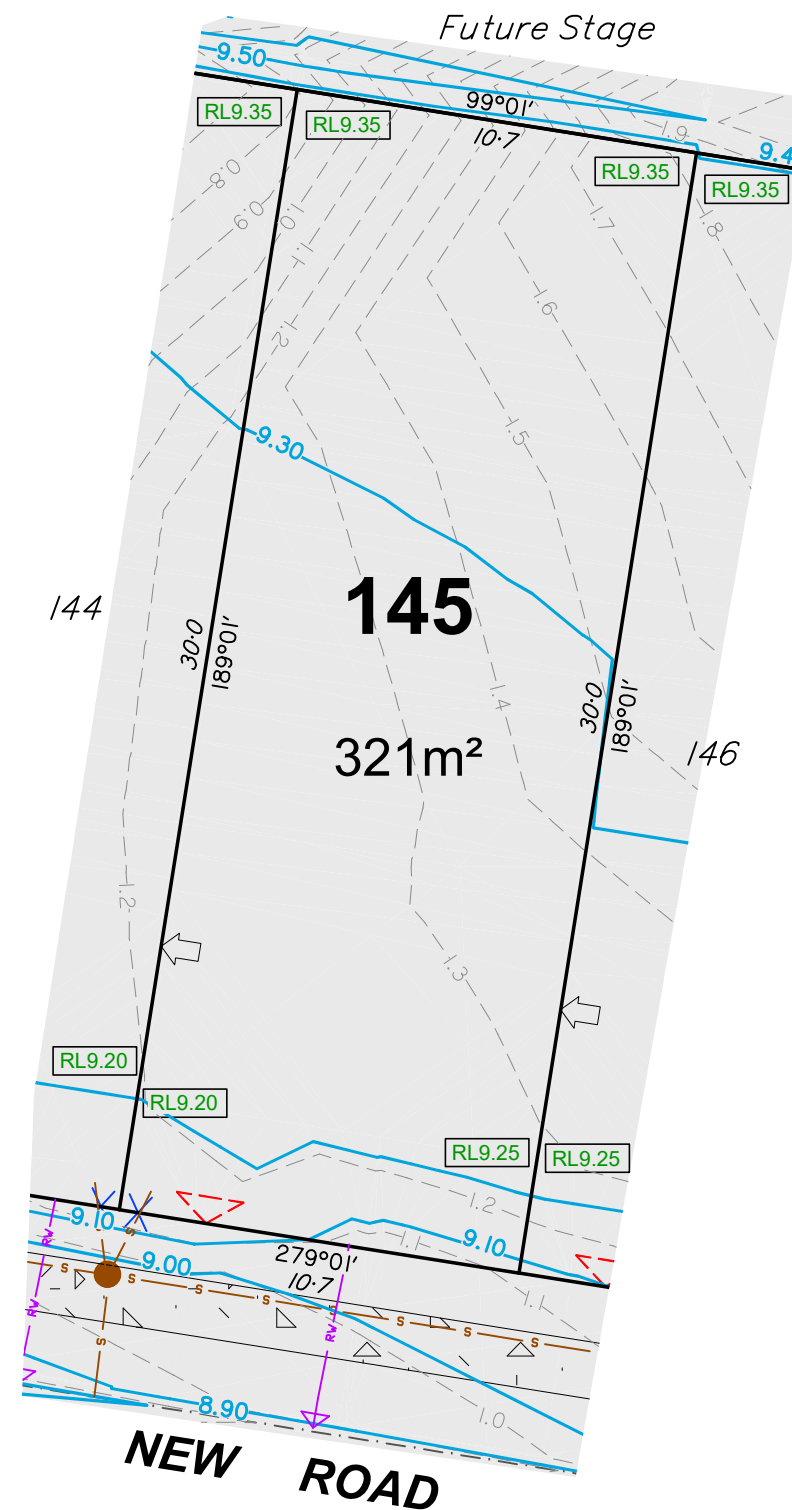
Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 21-11-2024 DRAWING NO. SB3594_2D-01-145 VERSION B



DISCLOSURE PLAN

For Proposed Lot 146
Riverbank Estate - Stage 2D

Currently Described As
RPD: Part of Lot 1031 on SP342164
Locality: Caboolture South
Local Authority: Moreton Bay City

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the underside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by Developer)

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RIVERBANK



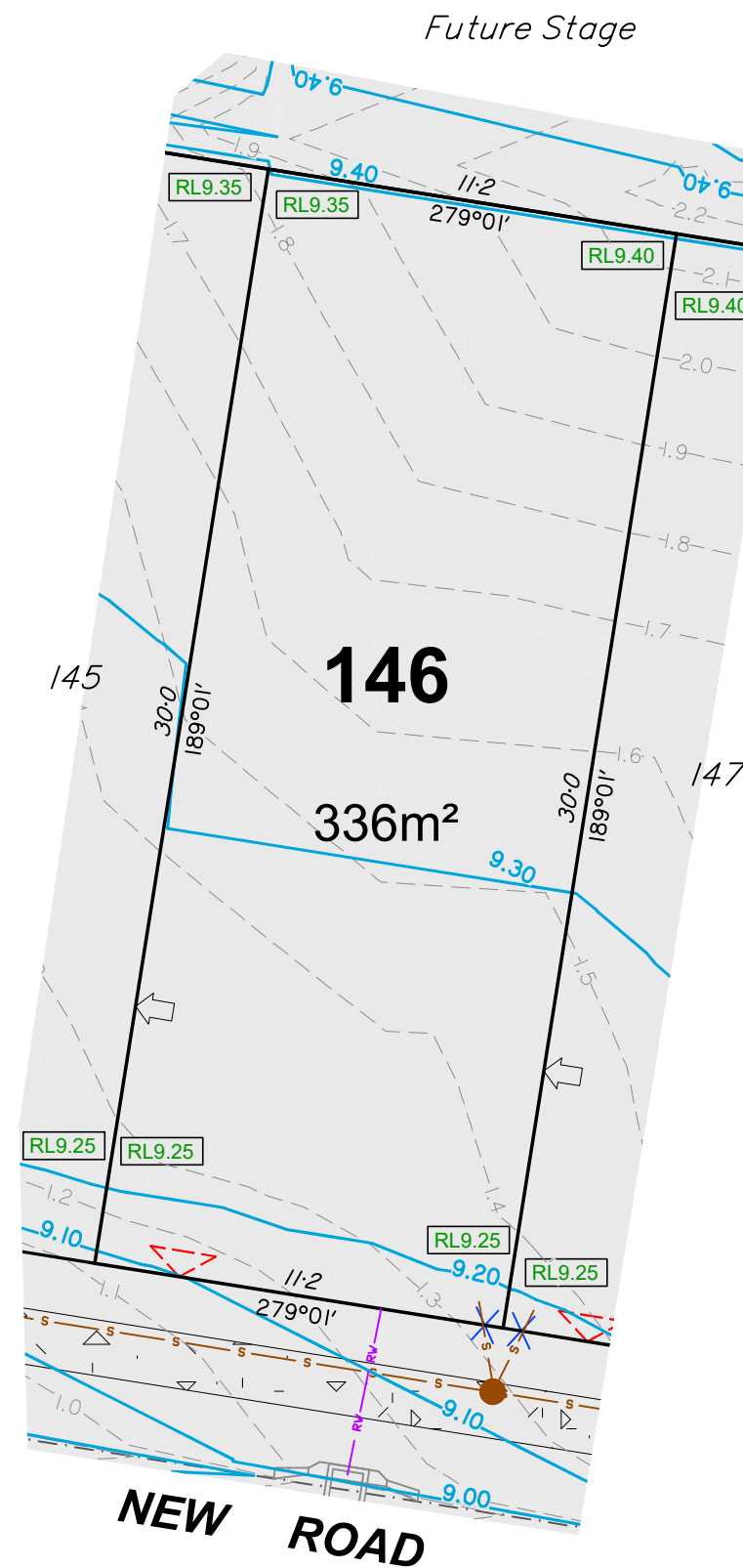
Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 21-11-2024 DRAWING NO. SB3594_2D-01-146 VERSION B



DISCLOSURE PLAN

For Proposed Lot 147
Riverbank Estate - Stage 2D

Currently Described As Part of Lot 1031 on SP342164
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay City

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the underside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by Developer)

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RIVERBANK



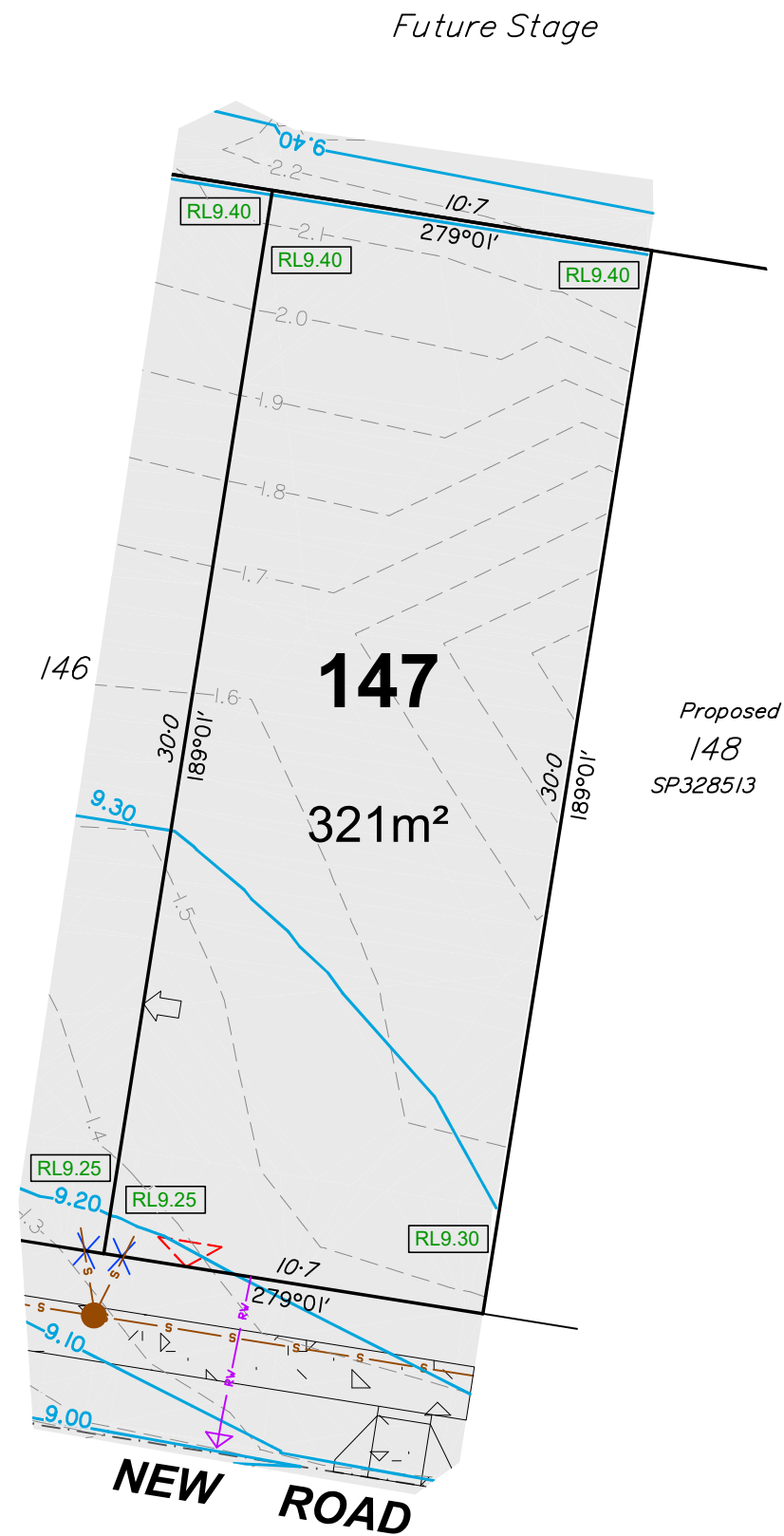
Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 21-11-2024 DRAWING NO. SB3594_2D-01-147 VERSION B



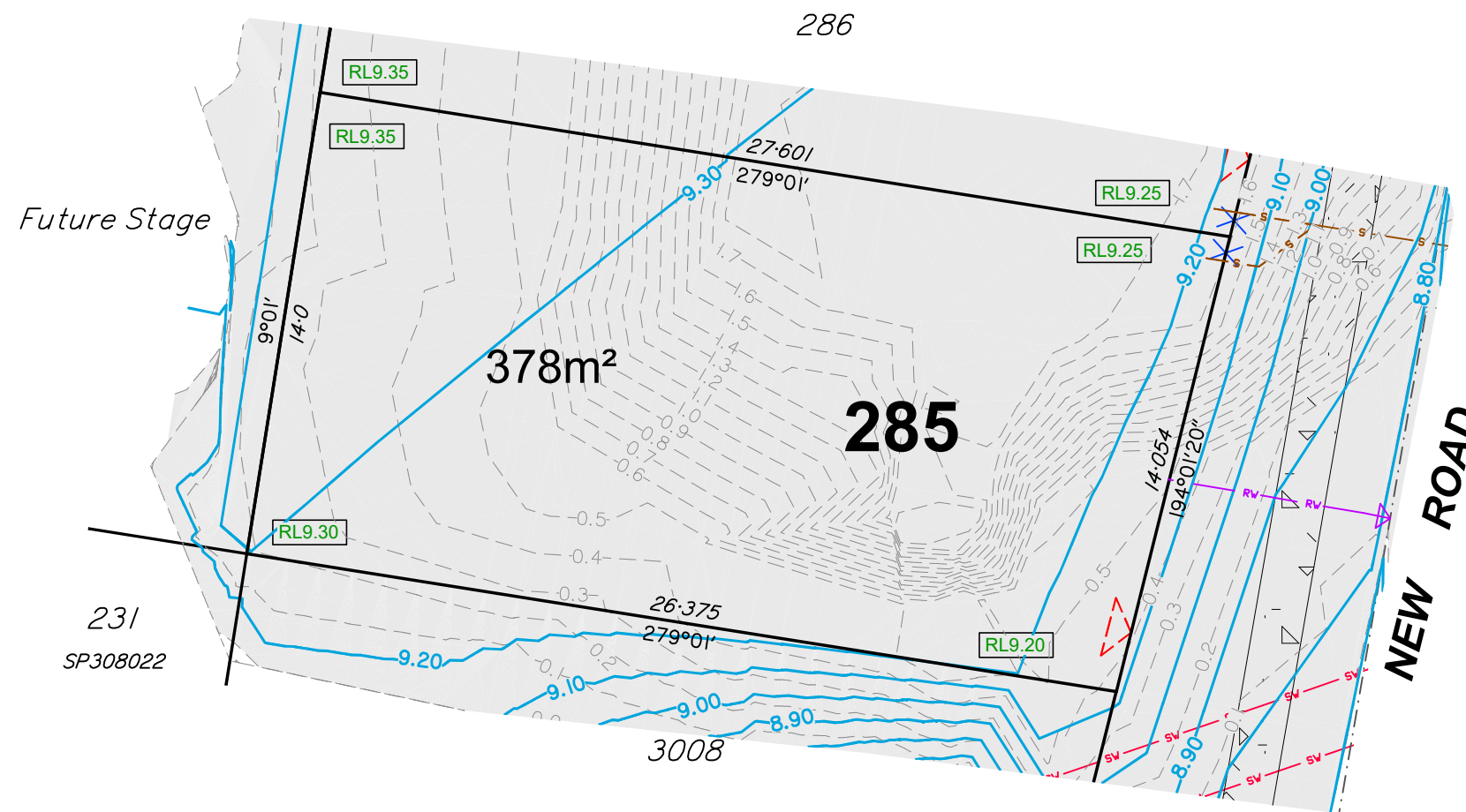
DISCLOSURE PLAN

For Proposed Lot 285
Riverbank Estate - Stage 2D

Currently Described As Part of Lot 1031 on SP342164
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay City

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by Developer)



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Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3



LEVEL DATUM
AHD.

DATE DRAWN 21-11-2024	DRAWING NO. SB3594_2D-01-285	VERSION B
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DISCLOSURE PLAN

For Proposed Lot 286
Riverbank Estate - Stage 2D

Currently Described As Part of Lot 1031 on SP342164
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - s s Sewer/Sewer Manhole
 - sv sv Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - rv rv Roofwater/Roofwater Pit
 -  Kerb Adapter
 - v v Water/Water Fitting
 - X Water Meter
 - Area to be Filled
 - RL9.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - >>> Proposed Driveway
 - ← Zero Lot Line Boundary
 - 1.8m High Timber Fence (Installed by Developer)

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RIVERBANK



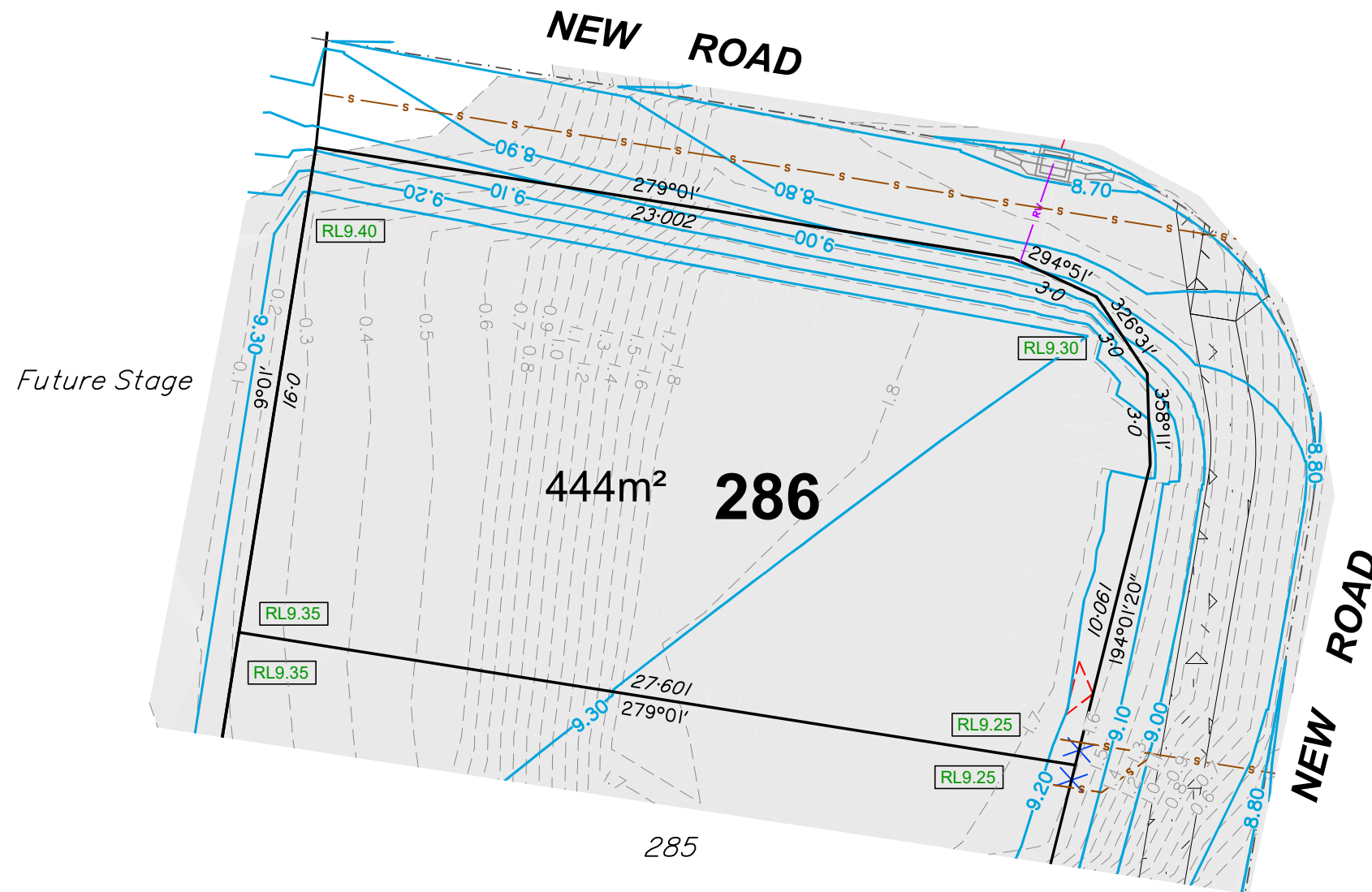
■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.



DATE DRAWN 21-11-2024 DRAWING NO. SB3594_2D-01-286 VERSION B

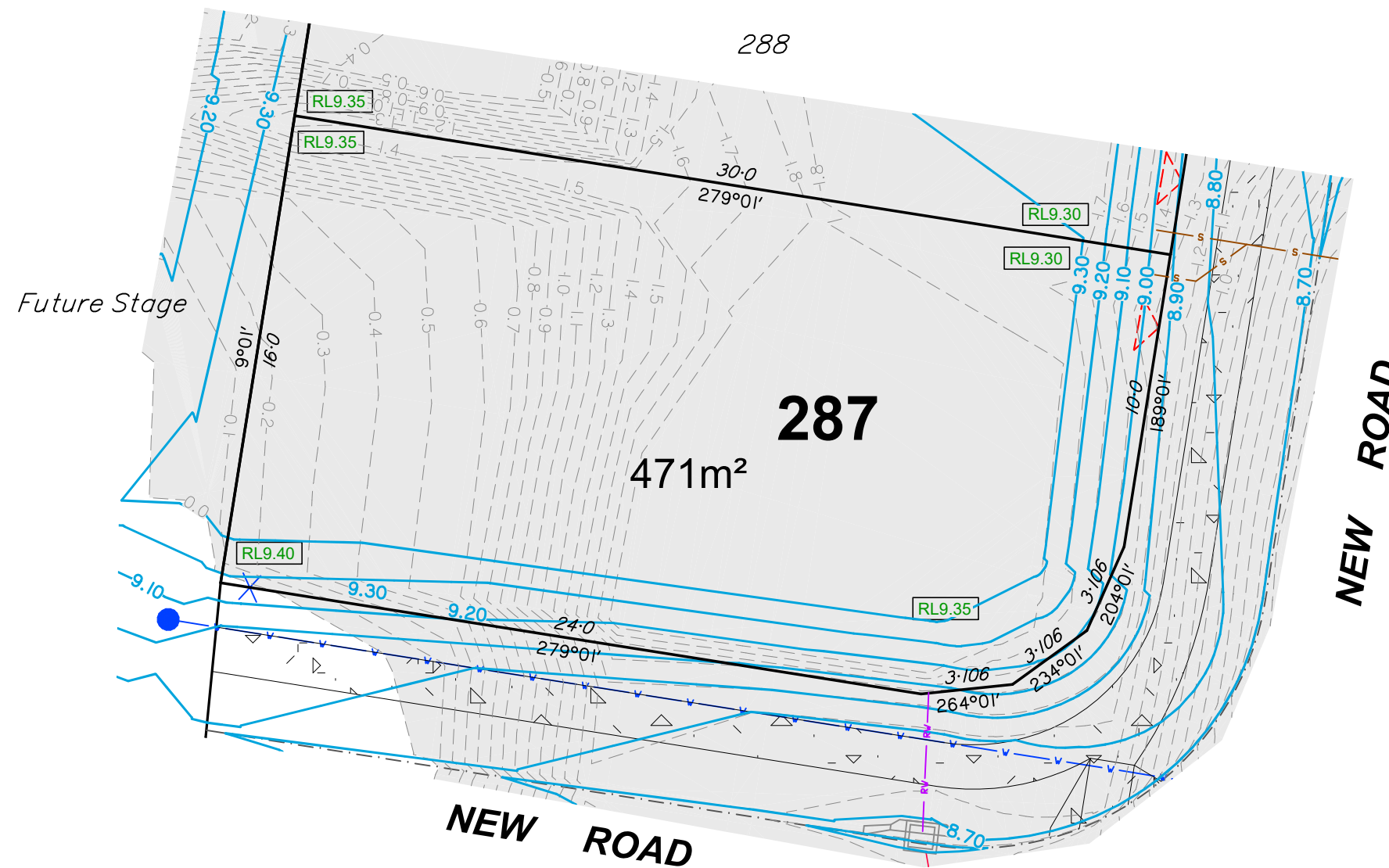


DISCLOSURE PLAN

For Proposed Lot 287
Riverbank Estate - Stage 2D

Currently Described As Part of Lot 1031 on SP342164
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - s s Sewer/Sewer Manhole
 - sv sv Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - rv rv Roofwater/Roofwater Pit
 -  Kerb Adapter
 - v v Water/Water Fitting
 - X Water Meter
 - Area to be Filled
 - RL9.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - > Proposed Driveway
 - ← Zero Lot Line Boundary
 - 1.8m High Timber Fence (Installed by Developer)



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RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN MGA
Scale 1:200 @A3
LEVEL DATUM AHD.

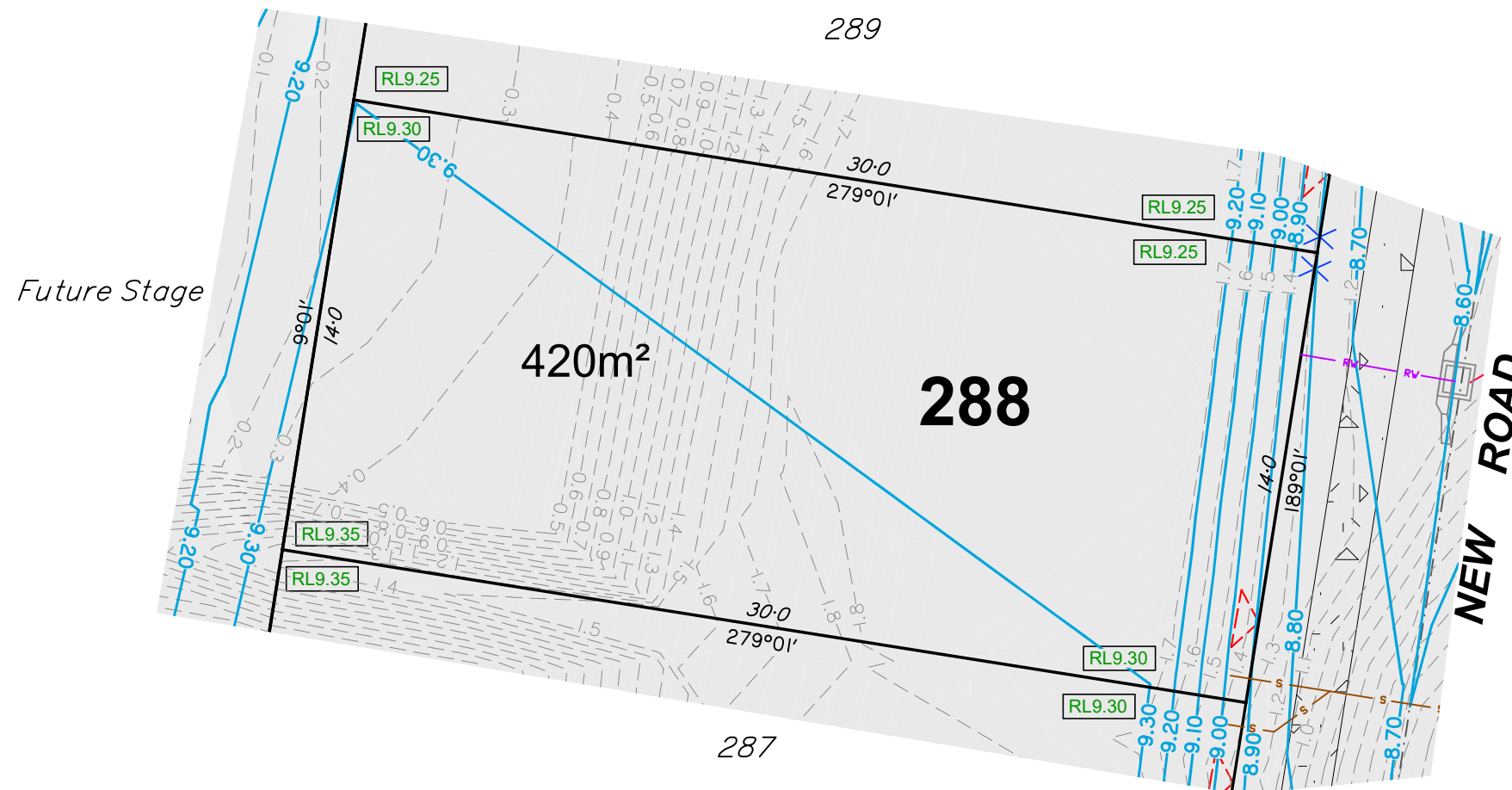
DATE DRAWN 21-11-2024 DRAWING NO. SB3594_2D-01-287 VERSION B

DISCLOSURE PLAN

For Proposed Lot 288
Riverbank Estate - Stage 2D

Currently Described As Part of Lot 1031 on SP342164
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv — rv — Roofwater/Roofwater Pit
 - Kerb Adapter
 - v — v — Water/Water Fitting
 - X Water Meter
 - Area to be Filled
 - RL9.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowside of the wall)
 - < Proposed Driveway
 - ← Zero Lot Line Boundary
 - 1.8m High Timber Fence
(Installed by Developer)



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RIVERBANK



■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying



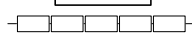



HORIZONTAL MERIDIAN MGA
Scale 1:200 @A3
LEVEL DATUM AHD.

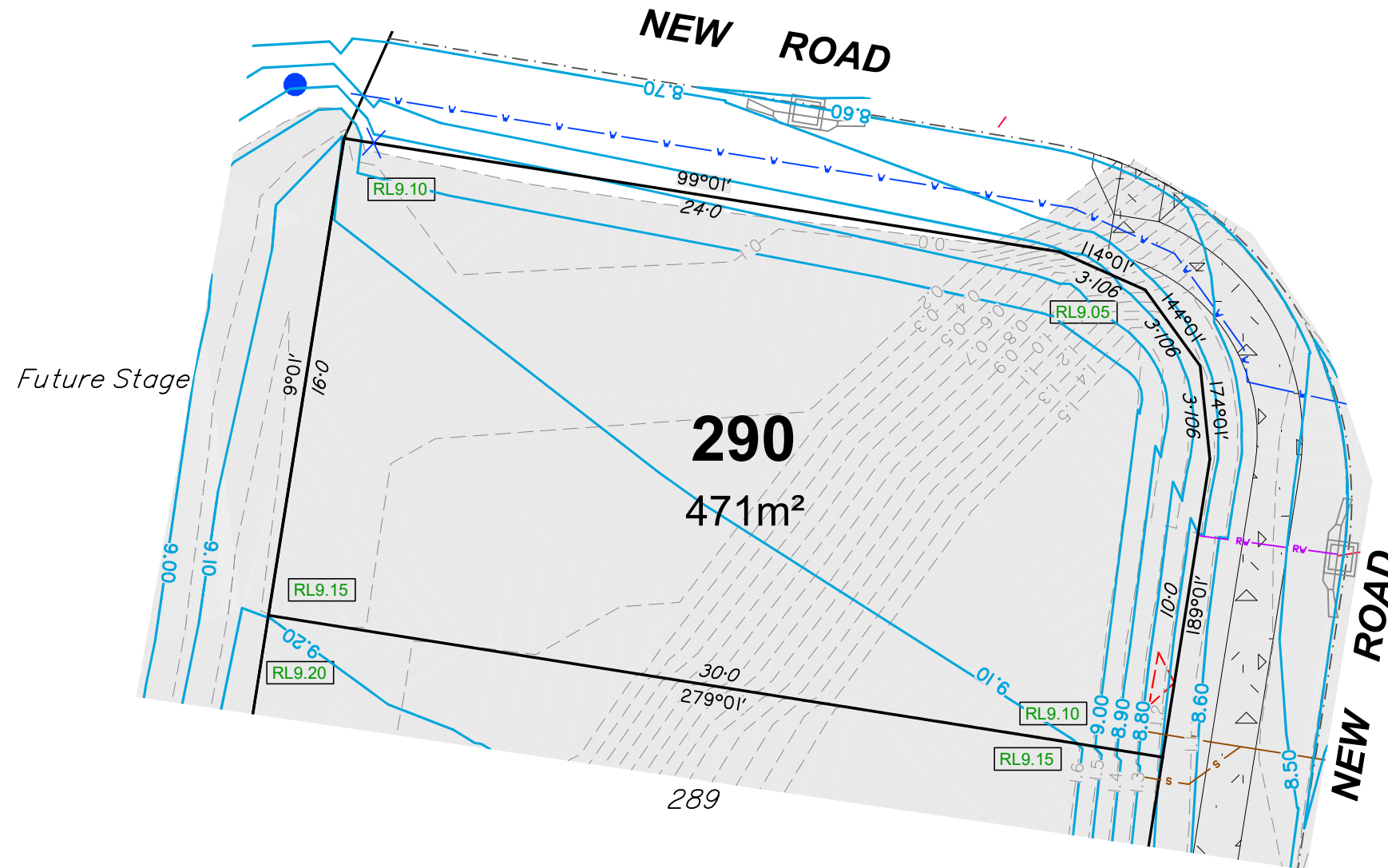
DATE DRAWN 21-11-2024 DRAWING NO. SB3594_2D-01-288 VERSION B

DISCLOSURE PLAN

For Proposed Lot 290
Riverbank Estate - Stage 2D

Currently Described As Part of Lot 1031 on SP342164
 RPD: Caboolture South
 Locality: Caboolture South
 Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - s s Sewer/Sewer Manhole
 - sv sv Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - rv rv Roofwater/Roofwater Pit
 -  Kerb Adapter
 - v v Water/Water Fitting
 - X Water Meter
 - Area to be Filled
 - RL9.32 Design Pad Level
 -  Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 -  Proposed Driveway
 -  Zero Lot Line Boundary
 -  1.8m High Timber Fence (Installed by Developer)



- Notes:**
1. This note is an integral part of this plan.
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 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



 Planning
  Urban Design
  Landscape
  Environment
  Surveying



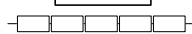



HORIZONTAL MERIDIAN MGA
 Scale 1:200 @A3
 LEVEL DATUM AHD.

DATE DRAWN 21-11-2024 DRAWING NO. SB3594_2D-01-290 VERSION B

DISCLOSURE PLAN

For Proposed Lot 291
Riverbank Estate - Stage 2D

Currently Described As Part of Lot 1031 on SP342164
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - rv — rv — Roofwater/Roofwater Pit
 -  Kerb Adapter
 - v — v — Water/Water Fitting
 - X Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 -  Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 -  Proposed Driveway
 -  Zero Lot Line Boundary
 -  1.8m High Timber Fence
(Installed by Developer)

- Notes:**
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RIVERBANK



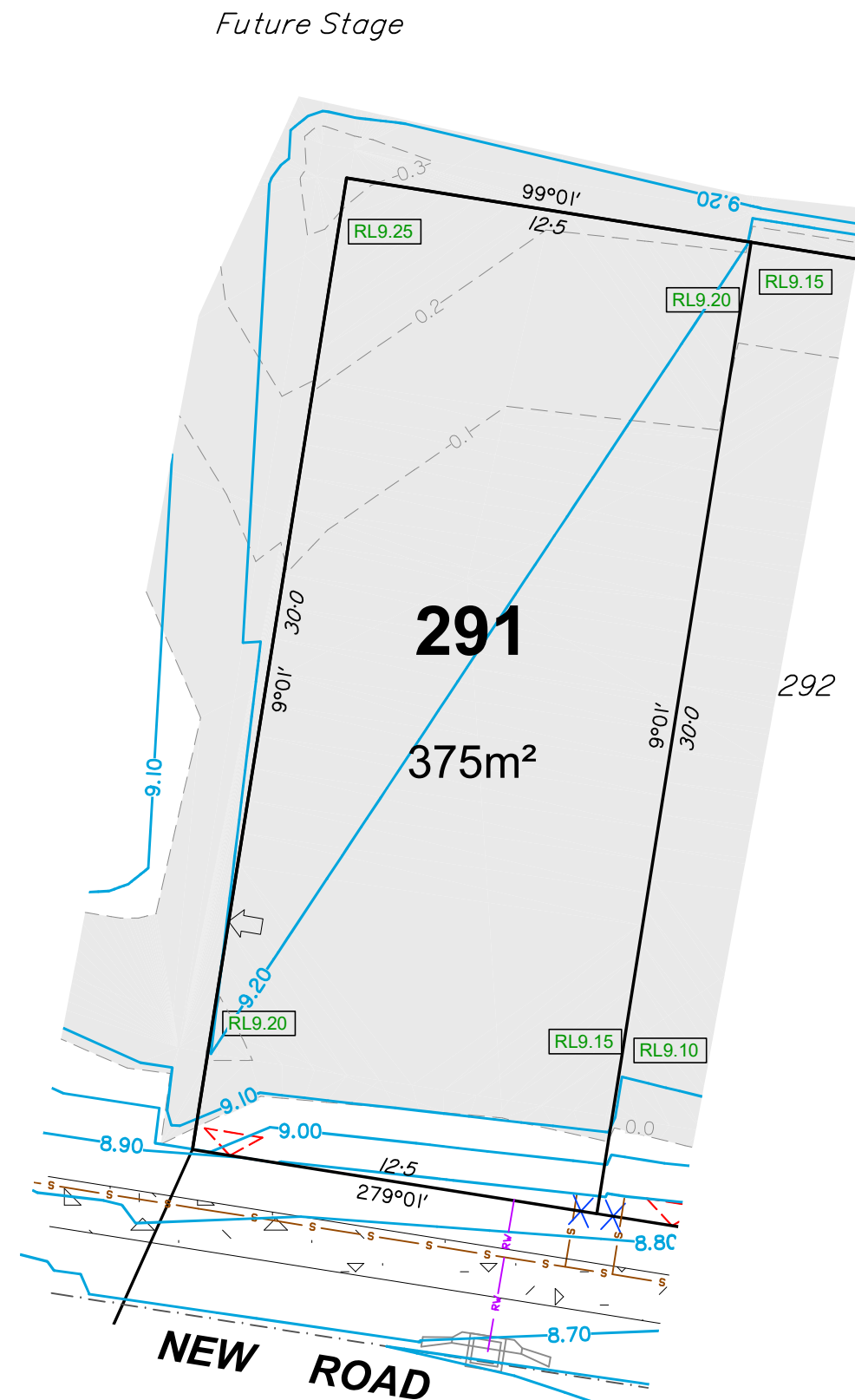
■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 21-11-2024 DRAWING NO. SB3594_2D-01-291 VERSION B



DISCLOSURE PLAN

For Proposed Lot 292
Riverbank Estate - Stage 2D

Currently Described As Part of Lot 1031 on SP342164
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay City

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - - - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - s — s Sewer/Sewer Manhole
 - sv — sv Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv — rv Roofwater/Roofwater Pit
 - Kerb Adapter
 - v — v Water/Water Fitting
 - X Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Timber Fence (Installed by Developer)

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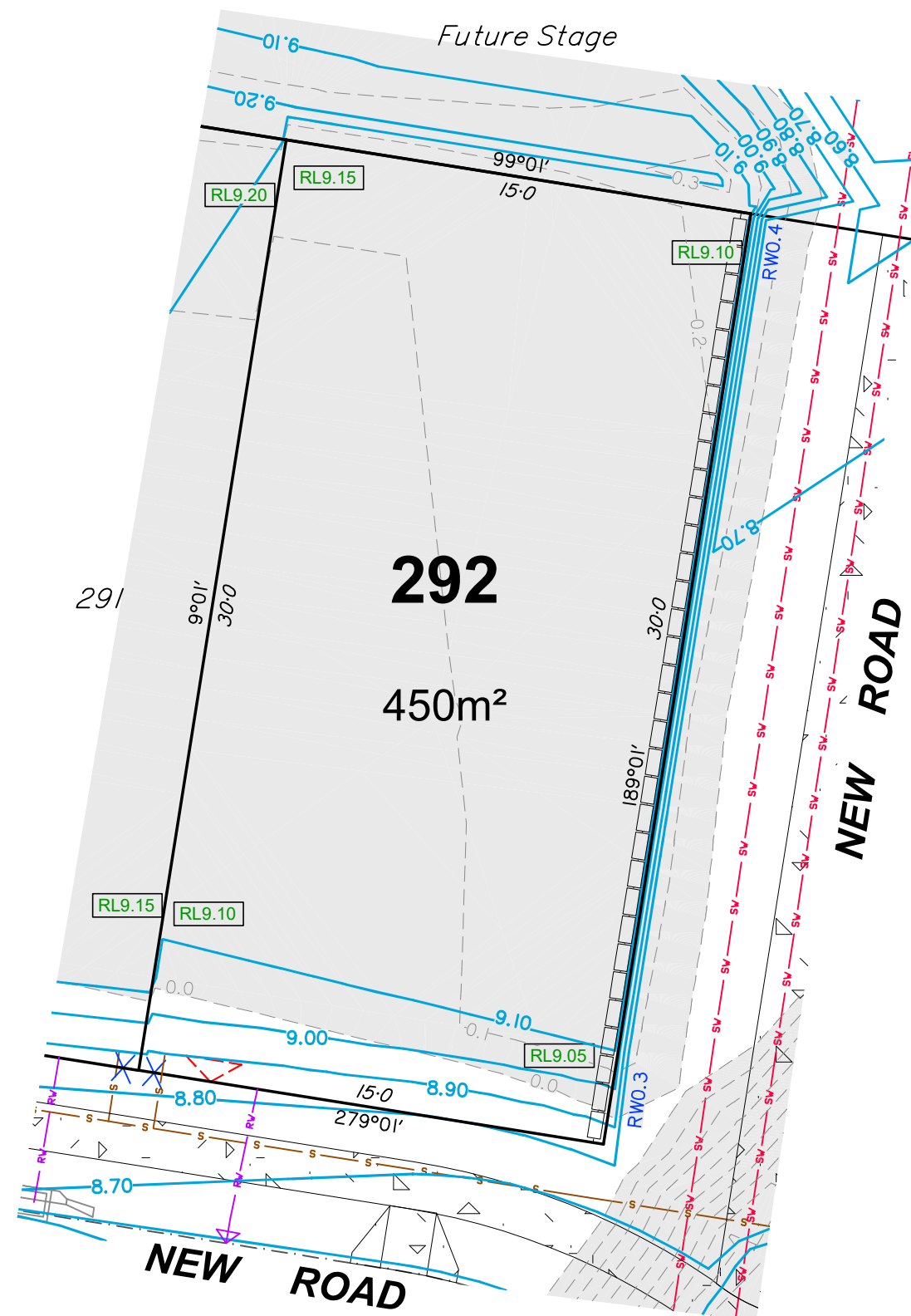
RIVERBANK



■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN MGA
 Scale 1:200 @A3
 LEVEL DATUM AHD.

DATE DRAWN 21-11-2024 DRAWING NO. SB3594_2D-01-292 VERSION B



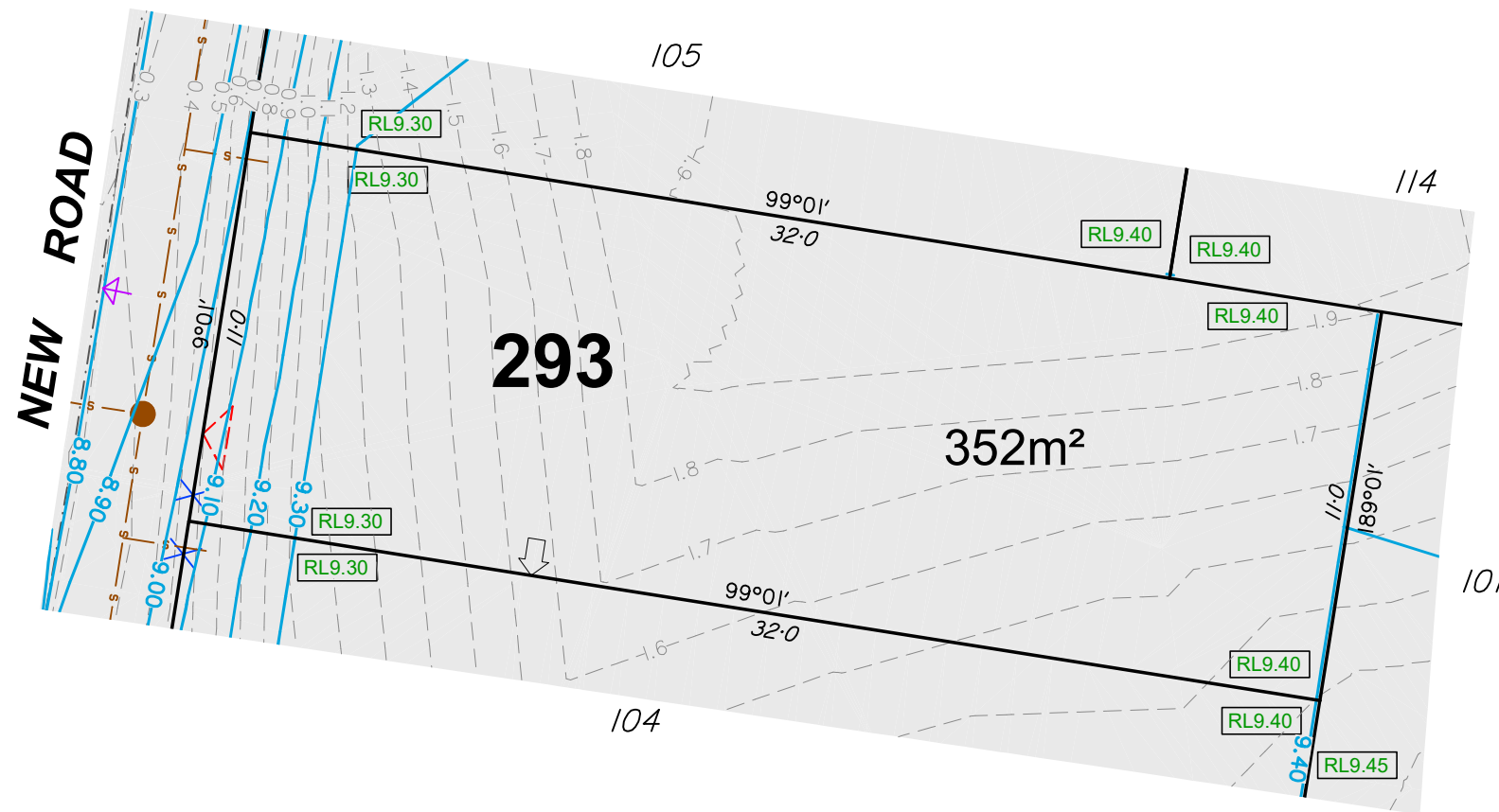
DISCLOSURE PLAN

For Proposed Lot 293
Riverbank Estate - Stage 2D

Currently Described As Part of Lot 1031 on SP342164
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay City

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the underside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by Developer)



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Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 21-11-2024 DRAWING NO. SB3594_2D-01-293 VERSION B

DISCLOSURE PLAN

For Proposed Lot 98
Riverbank Estate - Stage 2D

Currently Described As
RPD: Part of Lot 1031 on SP342164
Locality: Caboolture South
Local Authority: Moreton Bay City

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by Developer)

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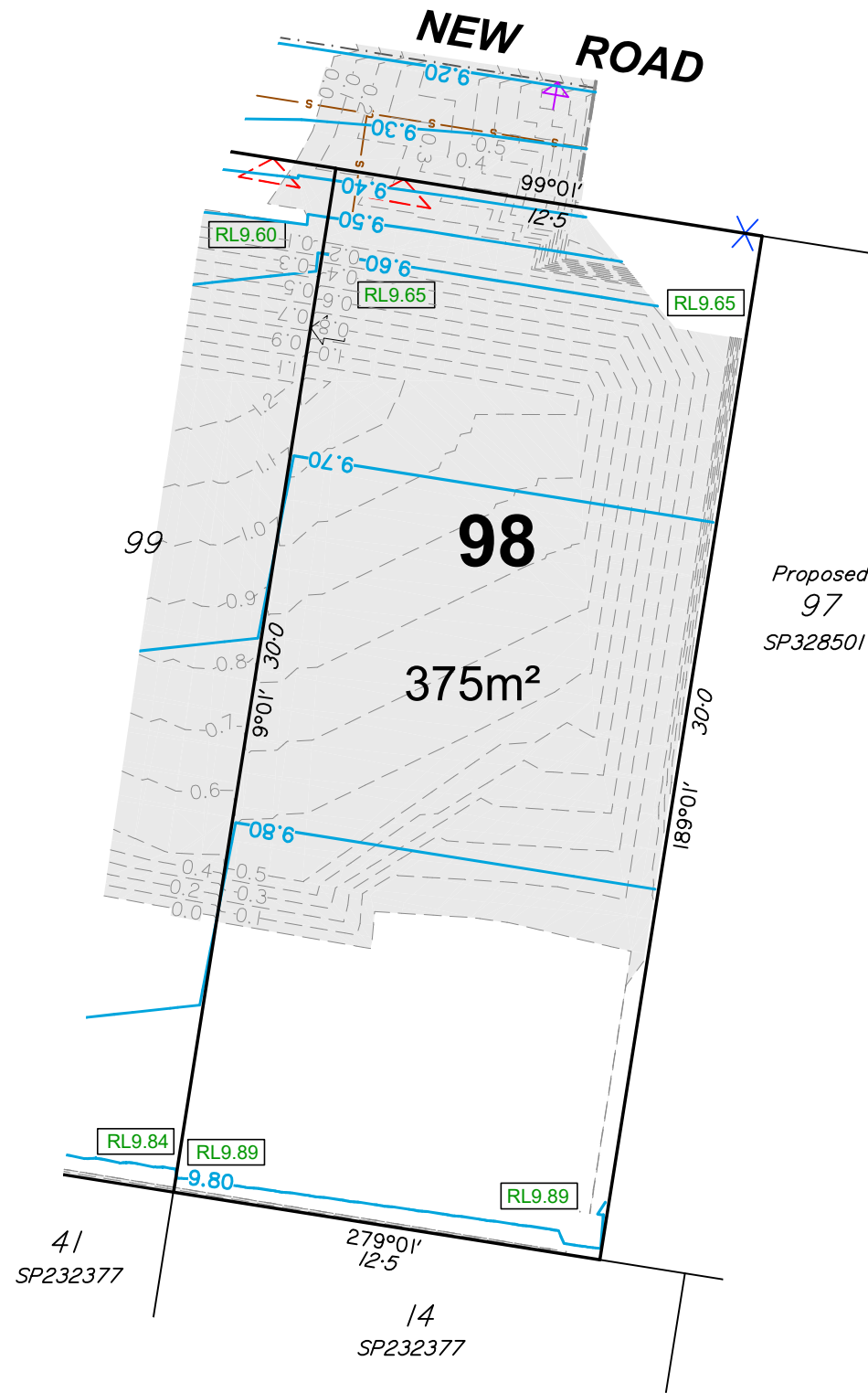
Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 21-11-2024 DRAWING NO. SB3594_2D-01-98 VERSION B



DISCLOSURE PLAN

For Proposed Lot 99
Riverbank Estate - Stage 2D

Currently Described As Part of Lot 1031 on SP342164
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay City

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - - - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - s — s Sewer/Sewer Manhole
 - sv — sv Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv — rv Roofwater/Roofwater Pit
 - Kerb Adapter
 - v — v Water/Water Fitting
 - X Water Meter
 - RL57.32 Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Timber Fence (Installed by Developer)

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RIVERBANK



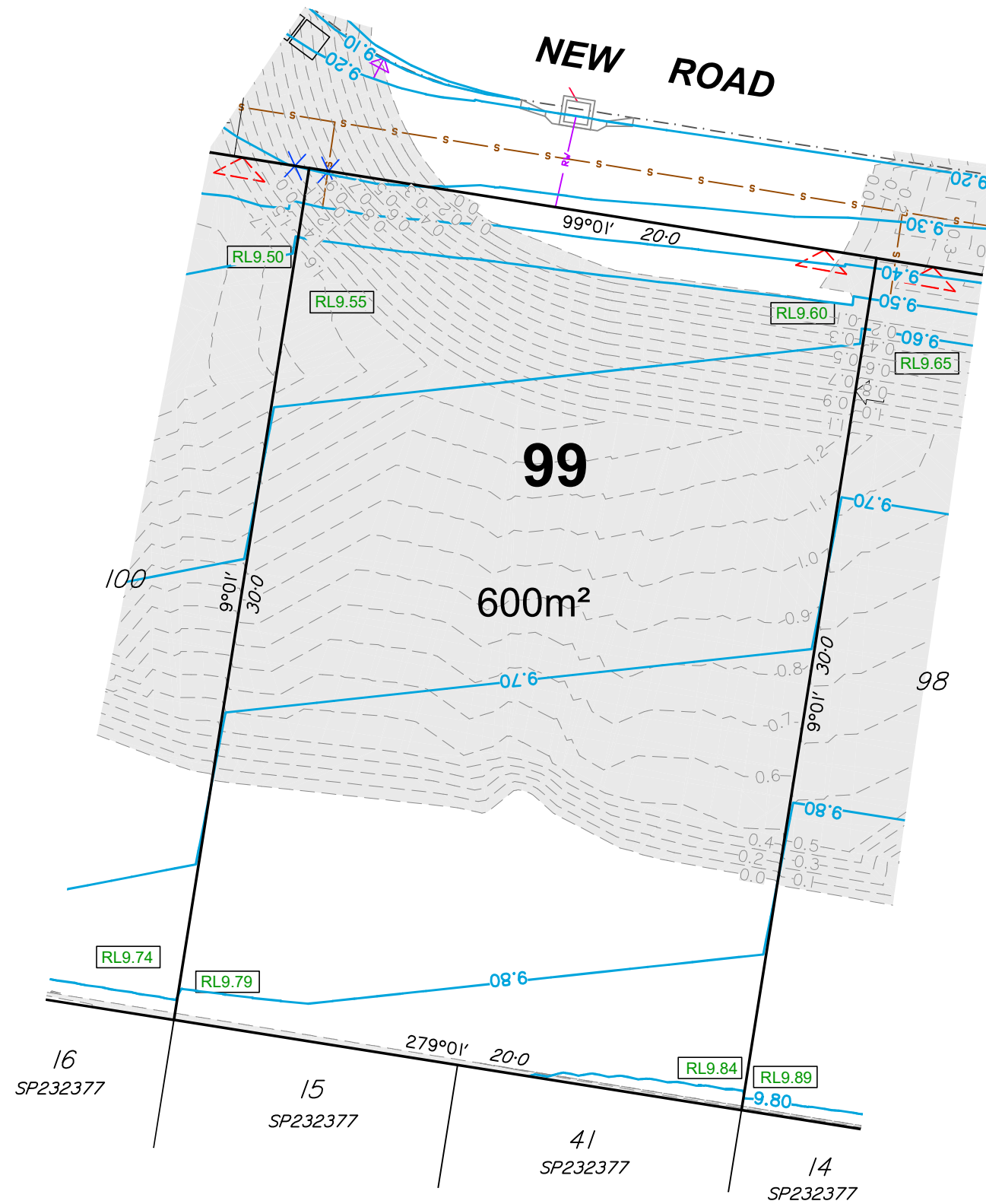
Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 21-11-2024 DRAWING NO. SB3594_2D-01-99 VERSION B



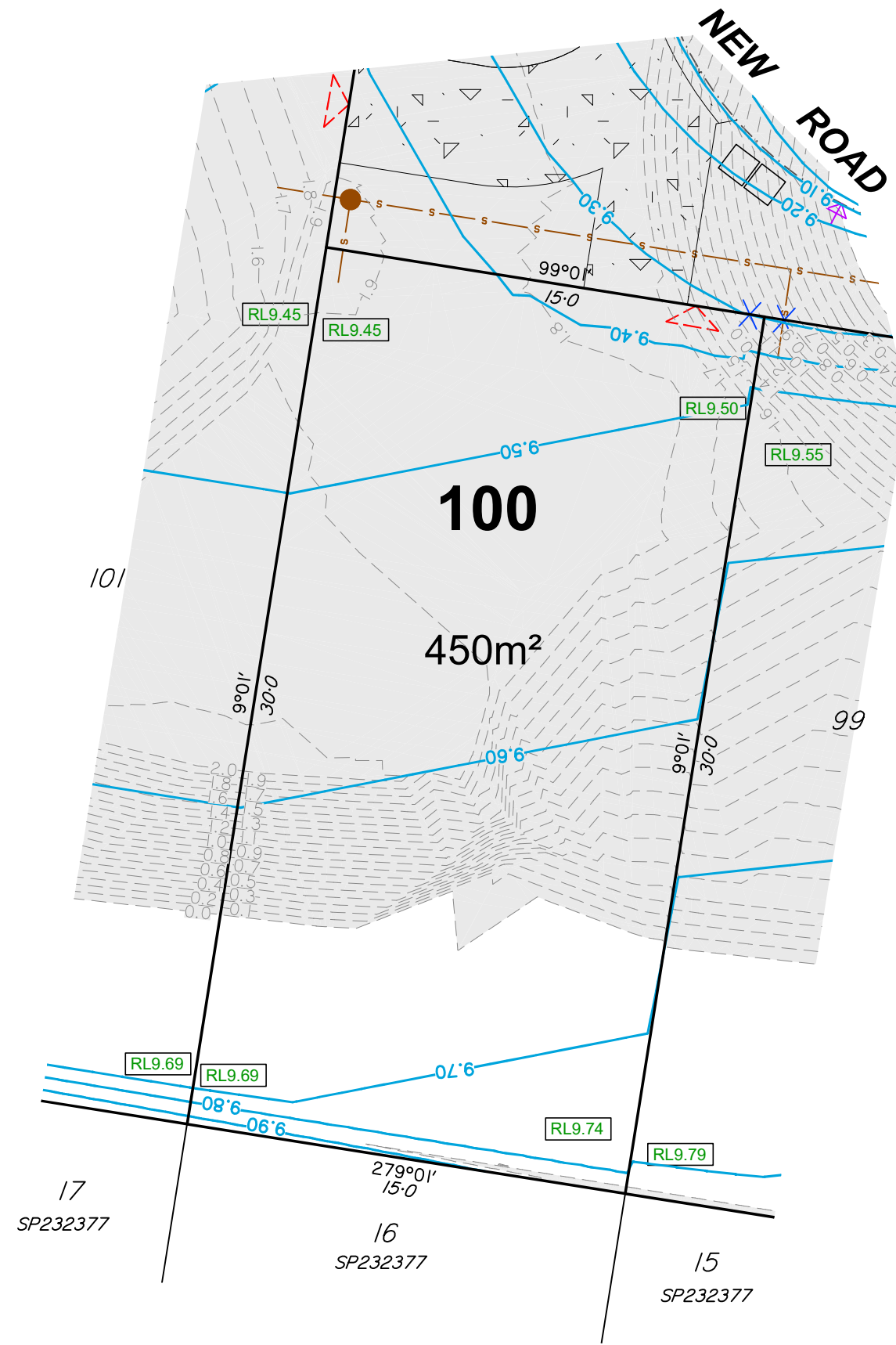
DISCLOSURE PLAN

For Proposed Lot 100
Riverbank Estate - Stage 2D

Currently Described As Part of Lot 1031 on SP342164
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay City

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the underside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by Developer)



Notes:

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RIVERBANK



Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN MGA
 Scale 1:200 @A3
 LEVEL DATUM AHD.

DATE DRAWN 21-11-2024 DRAWING NO. SB3594_2D-01-100 VERSION B

DISCLOSURE PLAN

For Proposed Lot 101
Riverbank Estate - Stage 2D

Currently Described As Part of Lot 1031 on SP342164
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay City

- Legend:**
- Finished Surface Contours (0.1m Interval)
 - Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - Roofwater/Roofwater Pit
 - Kerb Adapter
 - Water/Water Fitting
 - Water Meter
 - Area to be Filled
 - Design Pad Level
 - Retaining Wall
 - Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Timber Fence
(Installed by Developer)

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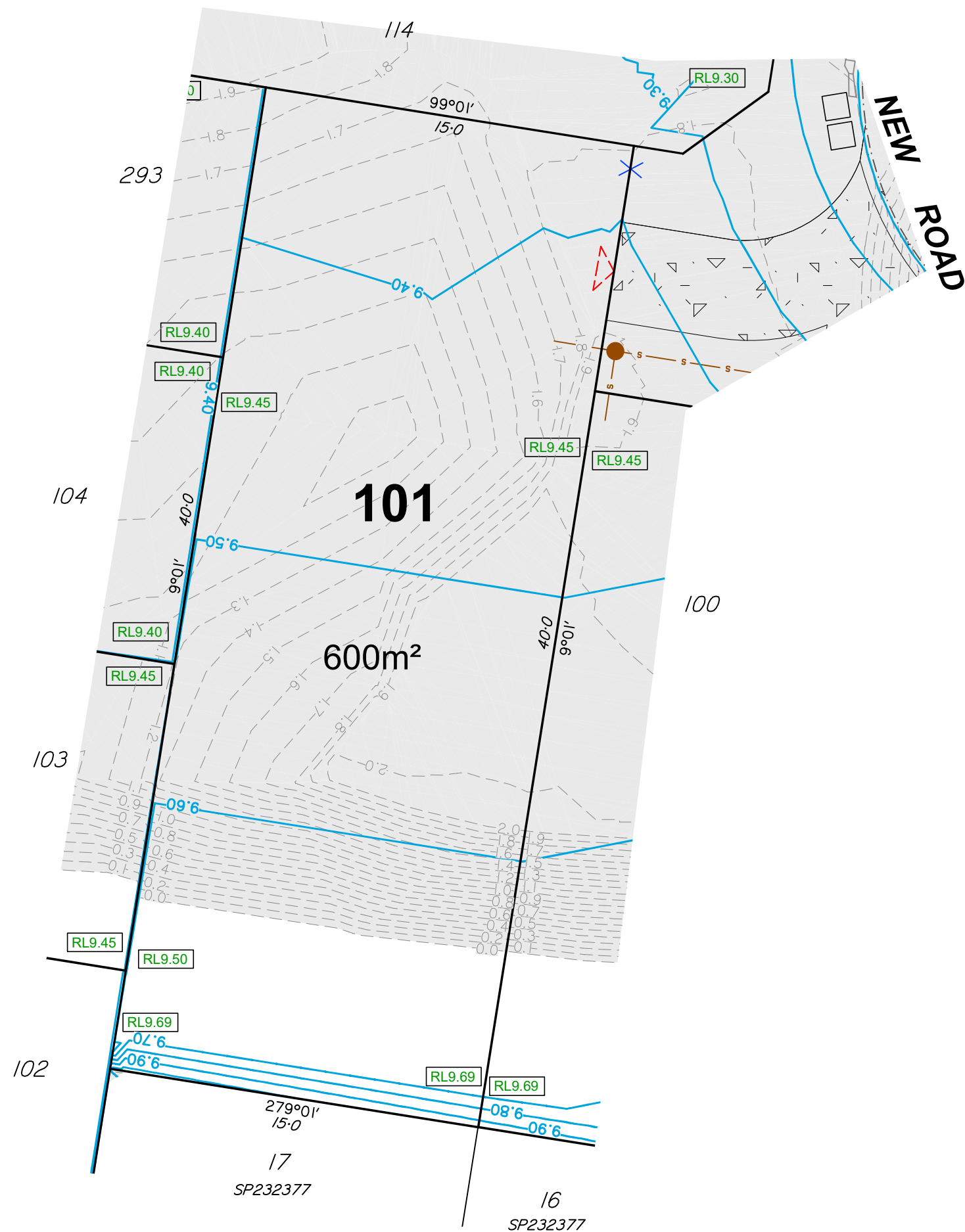
Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 21-11-2024 DRAWING NO. SB3594_2D-01-101 VERSION B



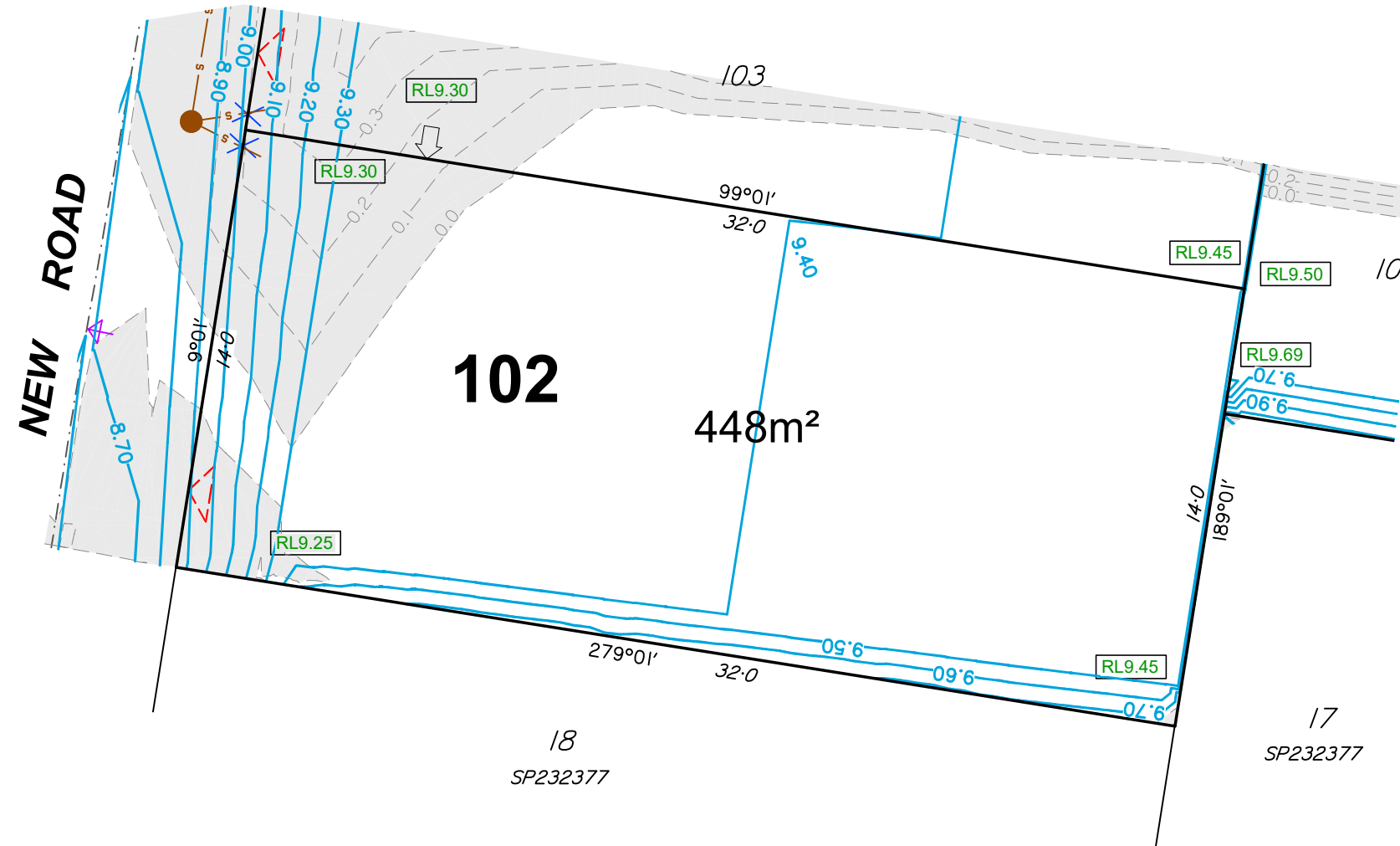
DISCLOSURE PLAN

For Proposed Lot 102
Riverbank Estate - Stage 2D

Currently Described As Part of Lot 1031 on SP342164
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay City

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by Developer)



- Notes:**
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RIVERBANK



Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN MGA
Scale 1:200 @A3
LEVEL DATUM AHD.

DATE DRAWN 21-11-2024 DRAWING NO. SB3594_2D-01-102 VERSION B

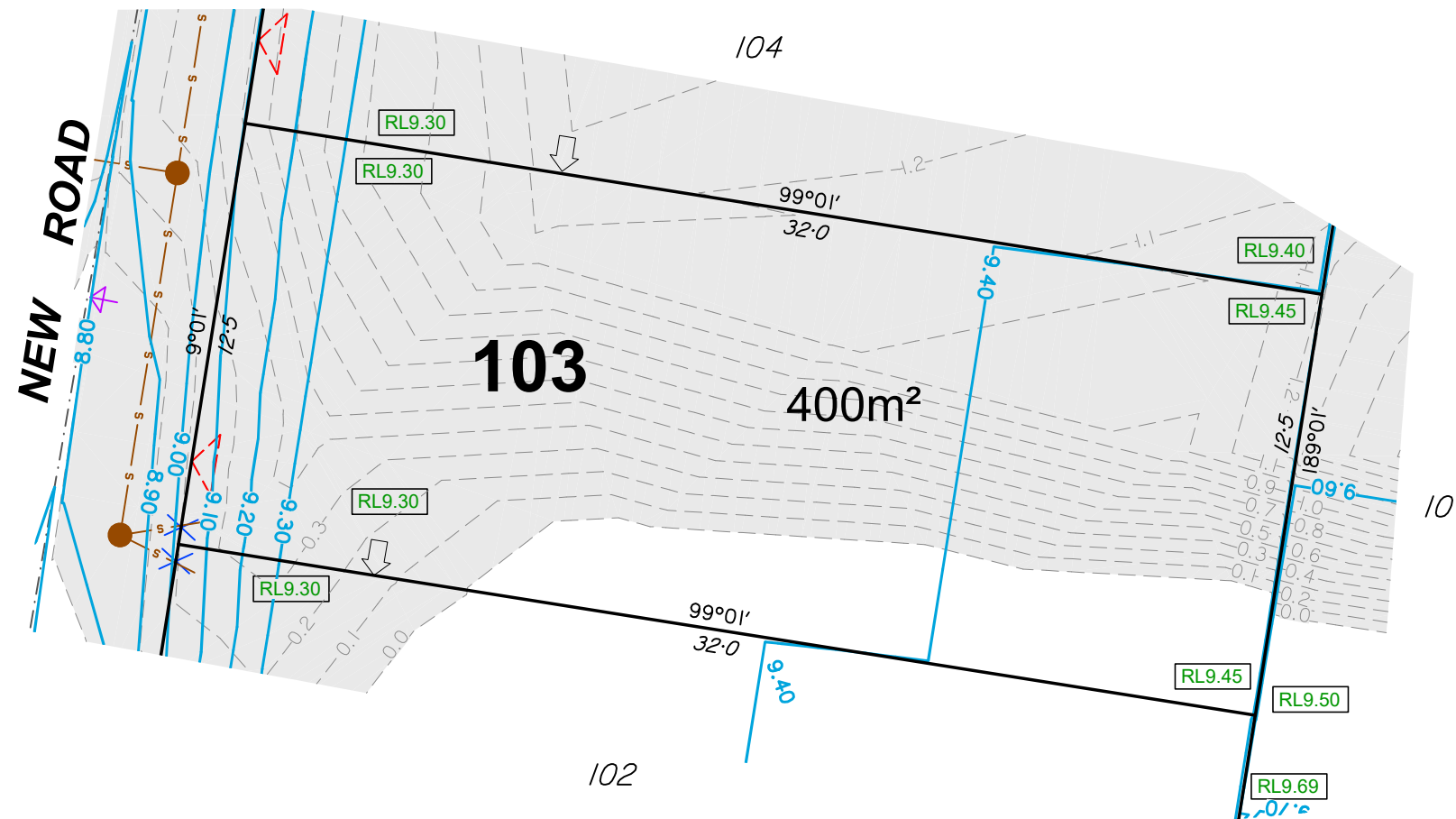
DISCLOSURE PLAN

For Proposed Lot 103
Riverbank Estate - Stage 2D

Currently Described As Part of Lot 1031 on SP342164
 RPD: Caboolture South
 Locality: Caboolture South
 Local Authority: Moreton Bay City

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by Developer)



- Notes:**
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RIVERBANK



Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN MGA
 Scale 1:200 @A3
 LEVEL DATUM AHD.

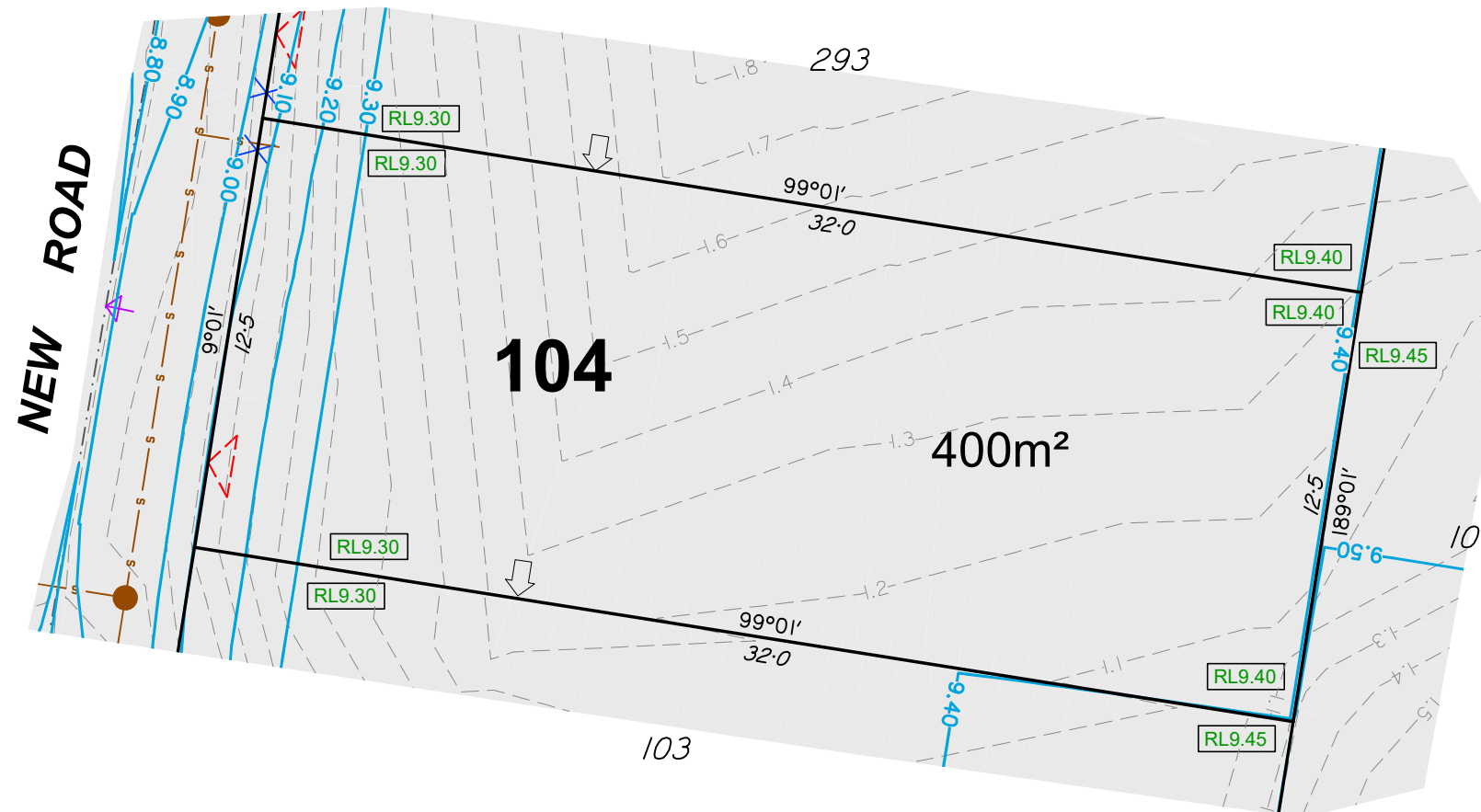
DATE DRAWN 21-11-2024	DRAWING NO. SB3594_2D-01-103	VERSION B
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DISCLOSURE PLAN

For Proposed Lot 104
Riverbank Estate - Stage 2D

Currently Described As Part of Lot 1031 on SP342164
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv — rv — Roofwater/Roofwater Pit
 - Kerb Adapter
 - v — v — Water/Water Fitting
 - X Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
 - Proposed Driveway
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RIVERBANK



■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3







LEVEL DATUM
AHD.

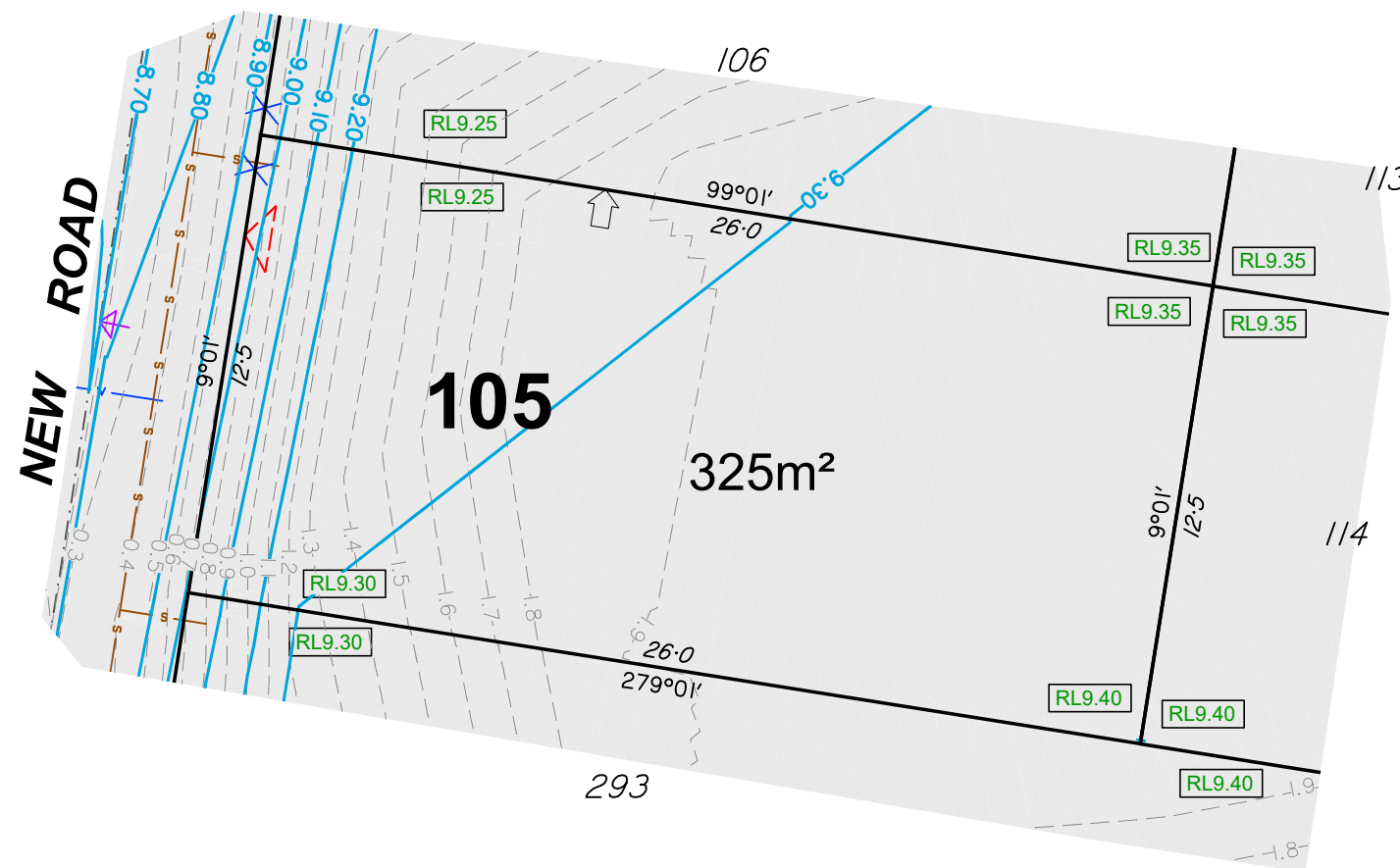
DATE DRAWN 21-11-2024 DRAWING NO. SB3594_2D-01-104 VERSION B

DISCLOSURE PLAN

For Proposed Lot 105
Riverbank Estate - Stage 2D

Currently Described As Part of Lot 1031 on SP342164
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - rv — rv — Roofwater/Roofwater Pit
 -  Kerb Adapter
 - v — v — Water/Water Fitting
 - X Water Meter
 - Area to be Filled
 - RL9.32 Design Pad Level
 -  Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 -  Proposed Driveway
 -  Zero Lot Line Boundary
 -  1.8m High Timber Fence
(Installed by Developer)



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■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 21-11-2024 DRAWING NO. SB3594_2D-01-105 VERSION B

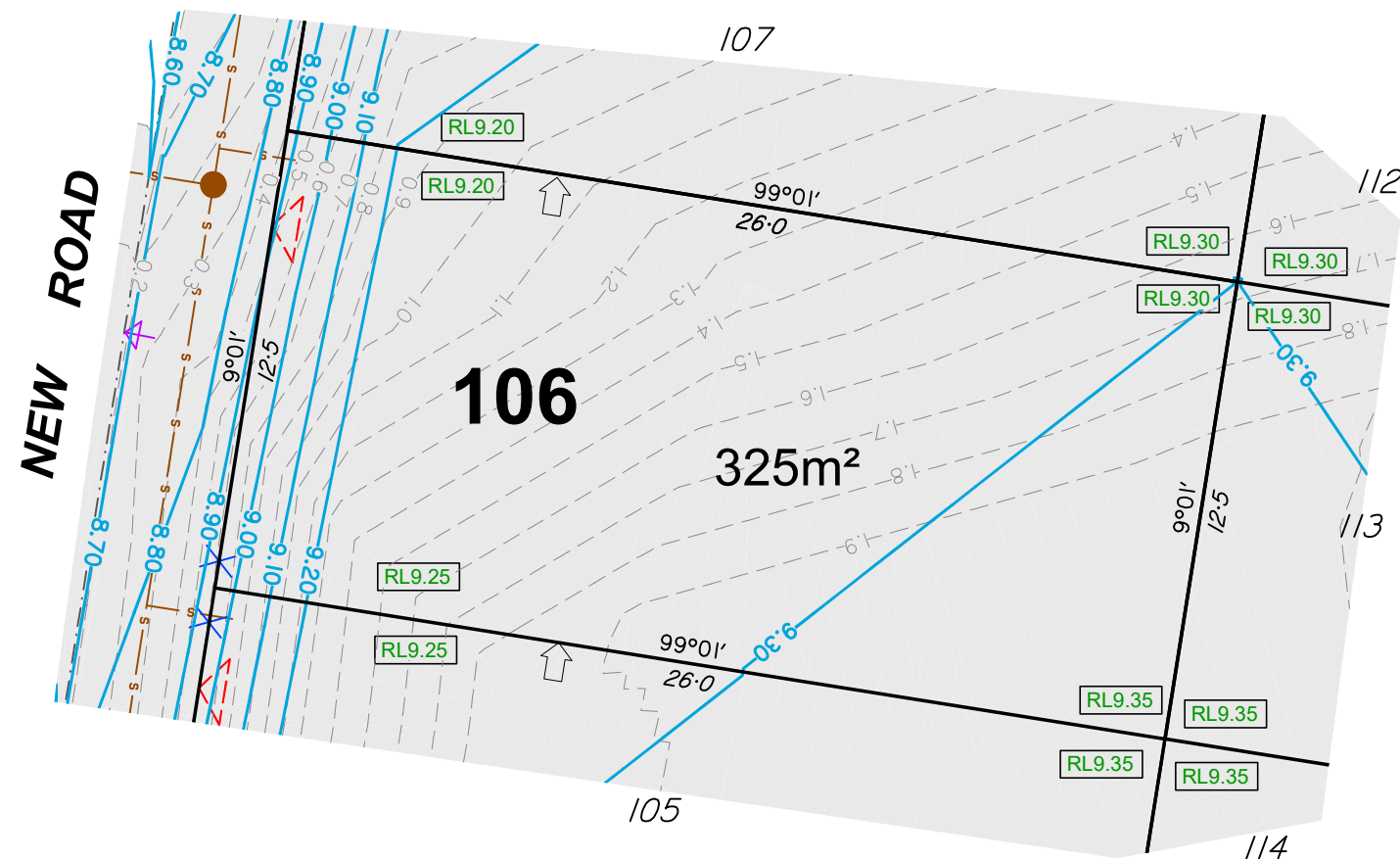
DISCLOSURE PLAN

For Proposed Lot 106
Riverbank Estate - Stage 2D

Currently Described As
RPD: Part of Lot 1031 on SP342164
Locality: Caboolture South
Local Authority: Moreton Bay City

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by Developer)



- Notes:**
- This note is an integral part of this plan.
 - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 05-12-2023.
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Scale 1:200 @A3

LEVEL DATUM
AHD.

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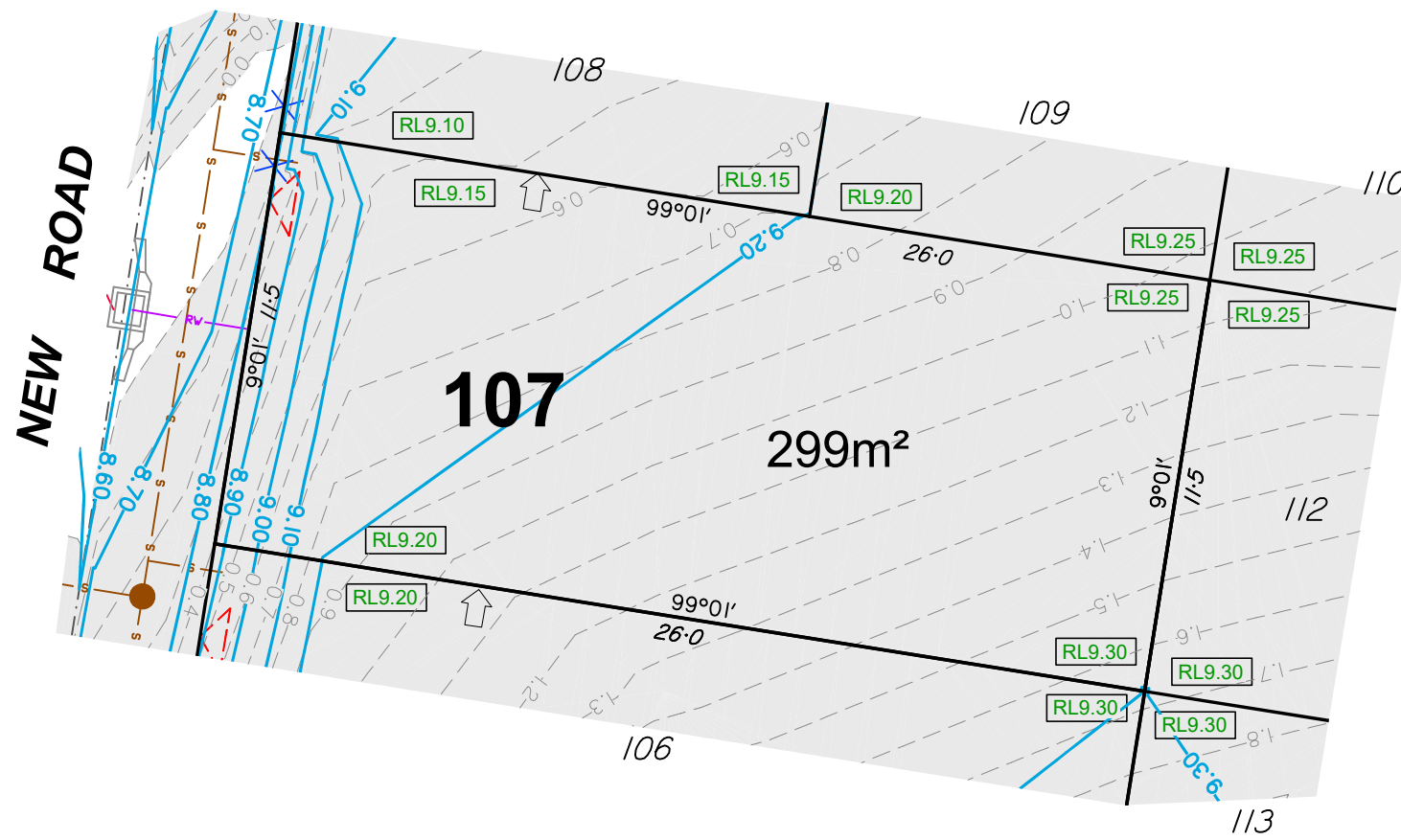
DISCLOSURE PLAN

For Proposed Lot 107
Riverbank Estate - Stage 2D

Currently Described As Part of Lot 1031 on SP342164
 RPD: Caboolture South
 Locality: Caboolture South
 Local Authority: Moreton Bay City

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by Developer)



- Notes:**
- This note is an integral part of this plan.
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Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 21-11-2024	DRAWING NO. SB3594_2D-01-107	VERSION B
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DISCLOSURE PLAN

For Proposed Lot 108
Riverbank Estate - Stage 2D

Currently Described As Part of Lot 1031 on SP342164
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay City

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - - - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - s s Sewer/Sewer Manhole
 - sv sv Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv rv Roofwater/Roofwater Pit
 - Kerb Adapter
 - v v Water/Water Fitting
 - X Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - > Proposed Driveway
 - ← Zero Lot Line Boundary
 - = 1.8m High Timber Fence (Installed by Developer)

- Notes:**
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 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

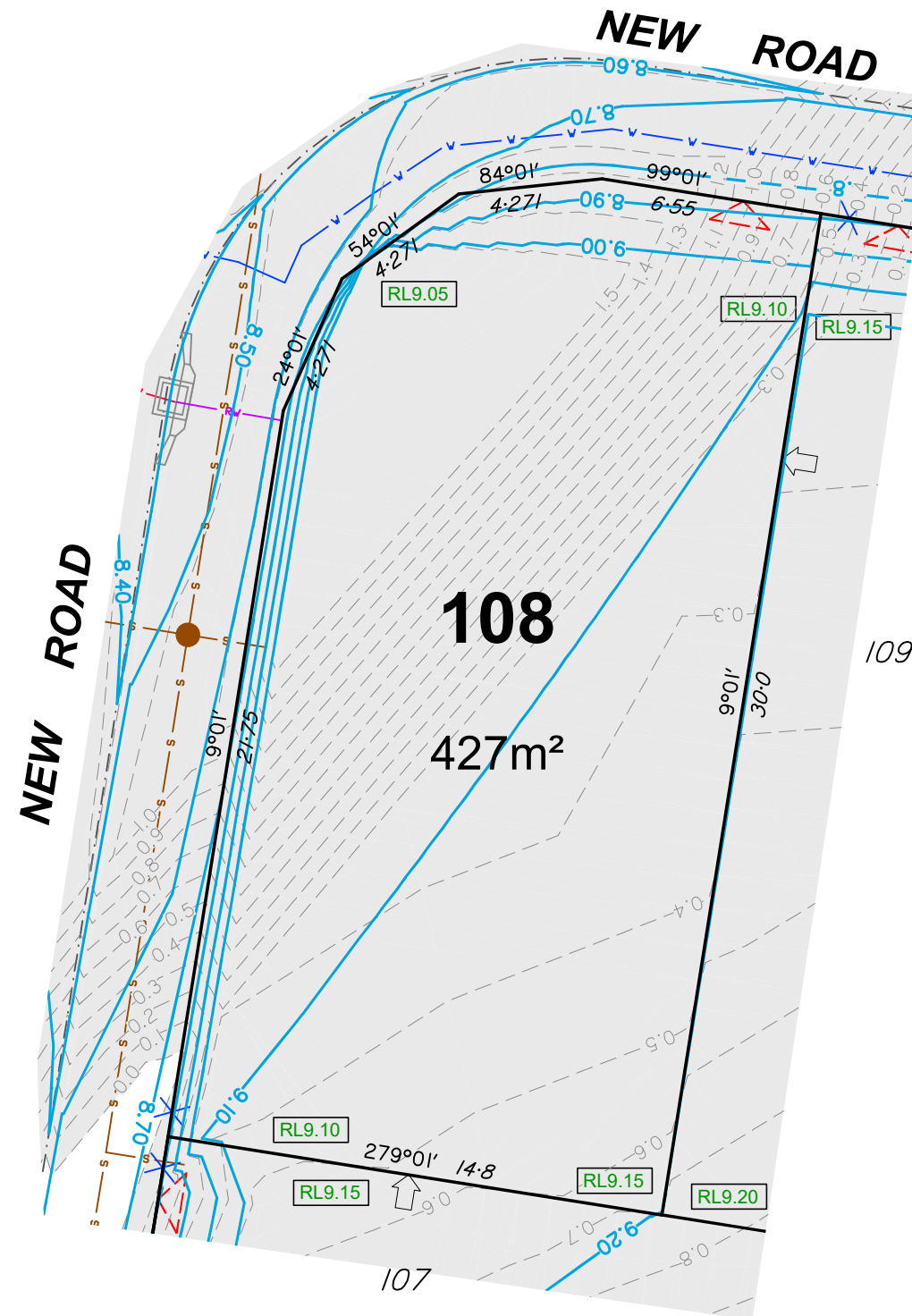
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 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN MGA
 Scale 1:200 @A3
 LEVEL DATUM AHD.

DATE DRAWN 21-11-2024 DRAWING NO. SB3594_2D-01-108 VERSION B



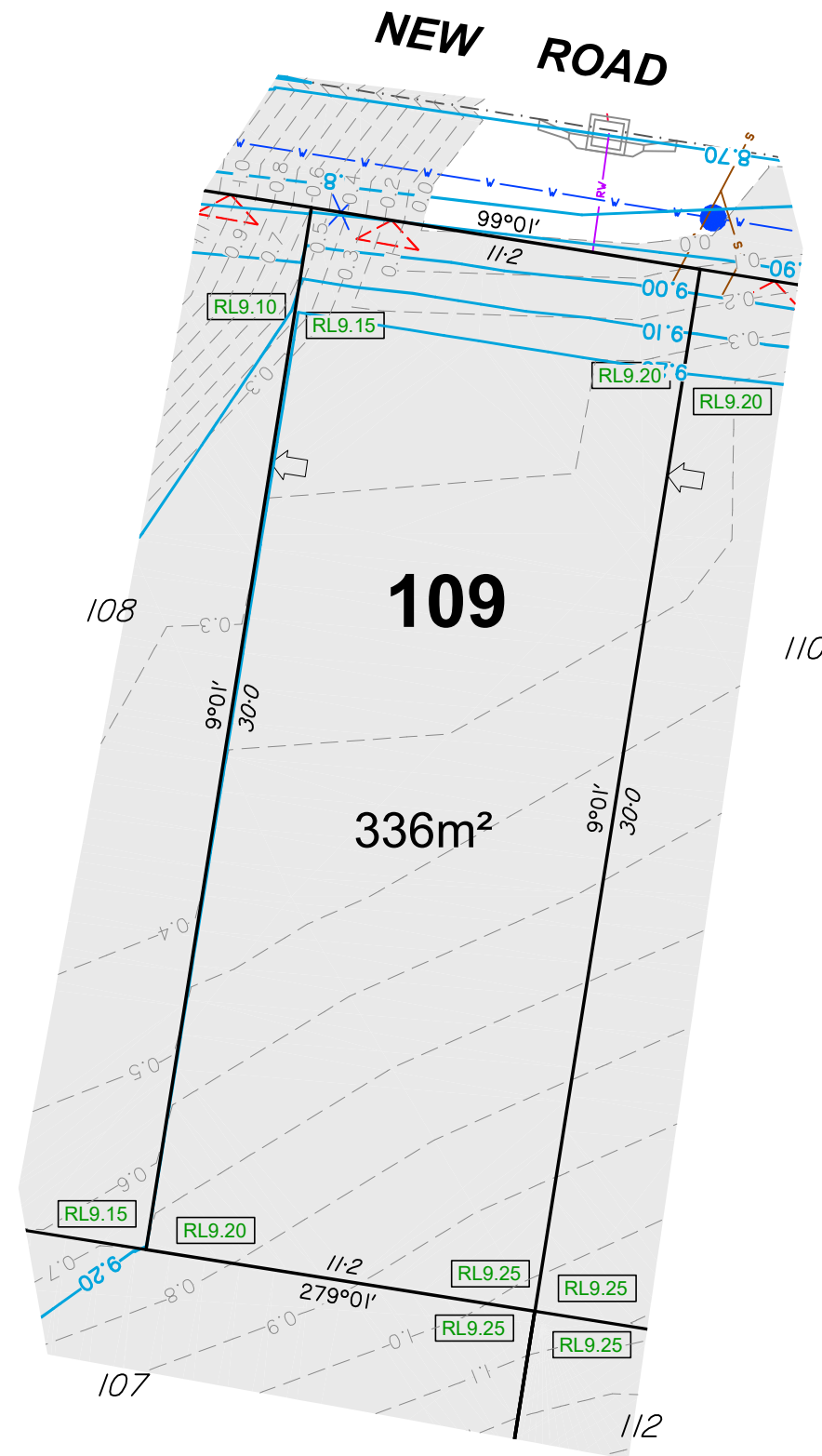
DISCLOSURE PLAN

For Proposed Lot 109
Riverbank Estate - Stage 2D

Currently Described As Part of Lot 1031 on SP342164
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay City

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by Developer)



- Notes:**
- This note is an integral part of this plan.
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HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 21-11-2024 DRAWING NO. SB3594_2D-01-109 VERSION B

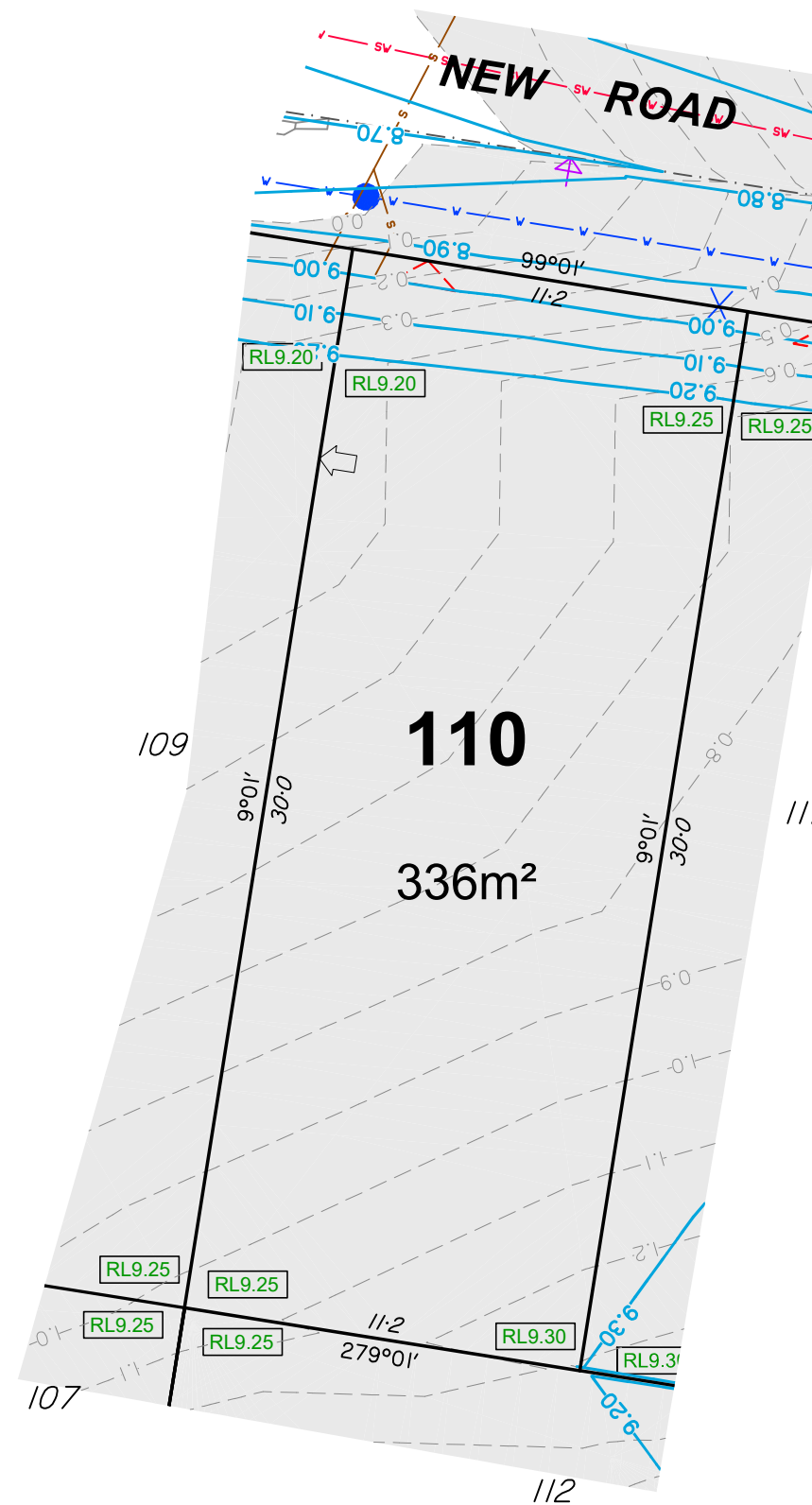
DISCLOSURE PLAN

For Proposed Lot 110
Riverbank Estate - Stage 2D

Currently Described As Part of Lot 1031 on SP342164
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay City

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the underside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by Developer)



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LEVEL DATUM AHD.

DATE DRAWN 21-11-2024 DRAWING NO. SB3594_2D-01-110 VERSION B

DISCLOSURE PLAN

For Proposed Lot 111
Riverbank Estate - Stage 2D

Currently Described As Part of Lot 1031 on SP342164
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay City

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by Developer)

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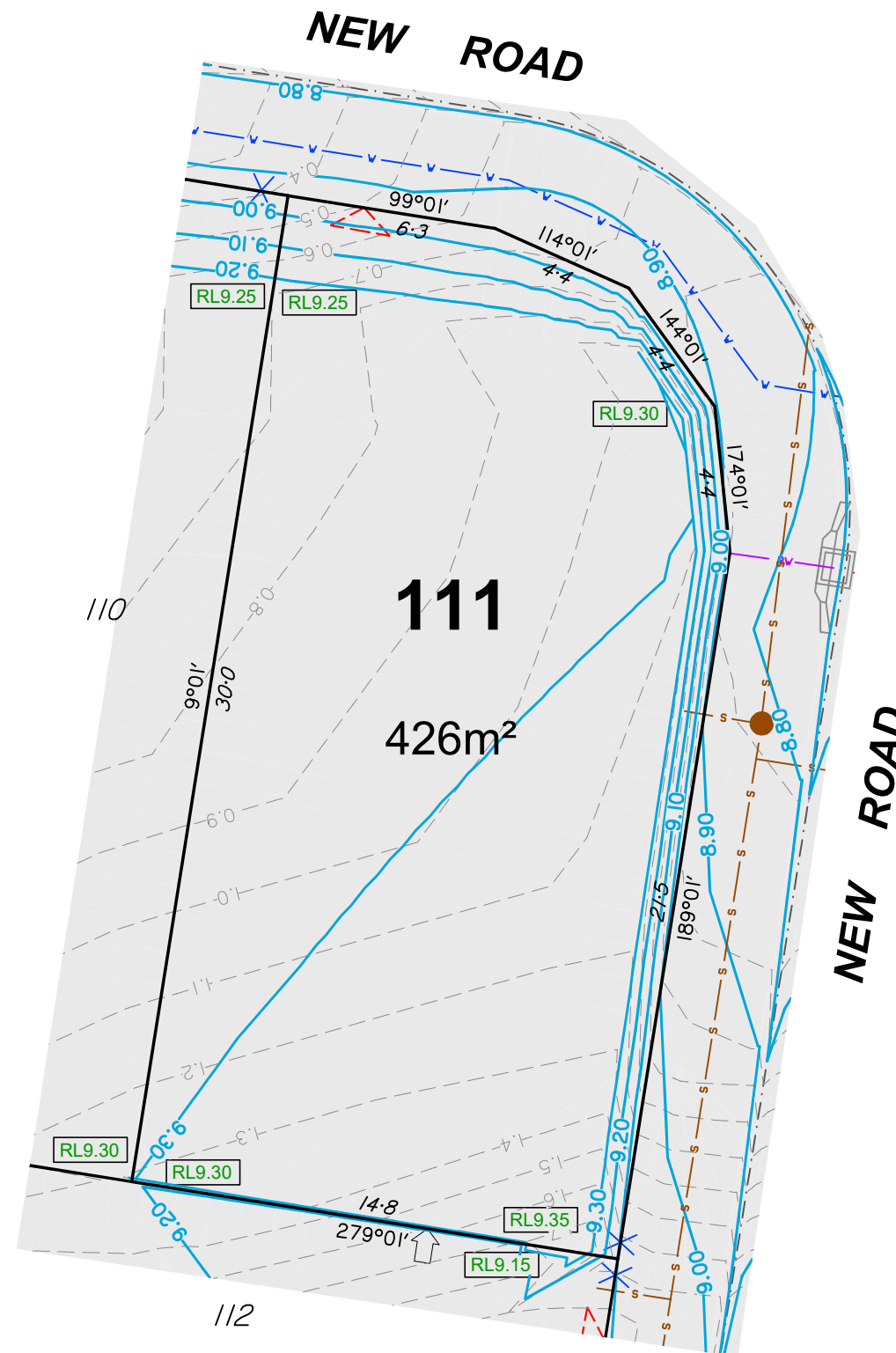
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 Environment
 Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 21-11-2024 DRAWING NO. SB3594_2D-01-111 VERSION B



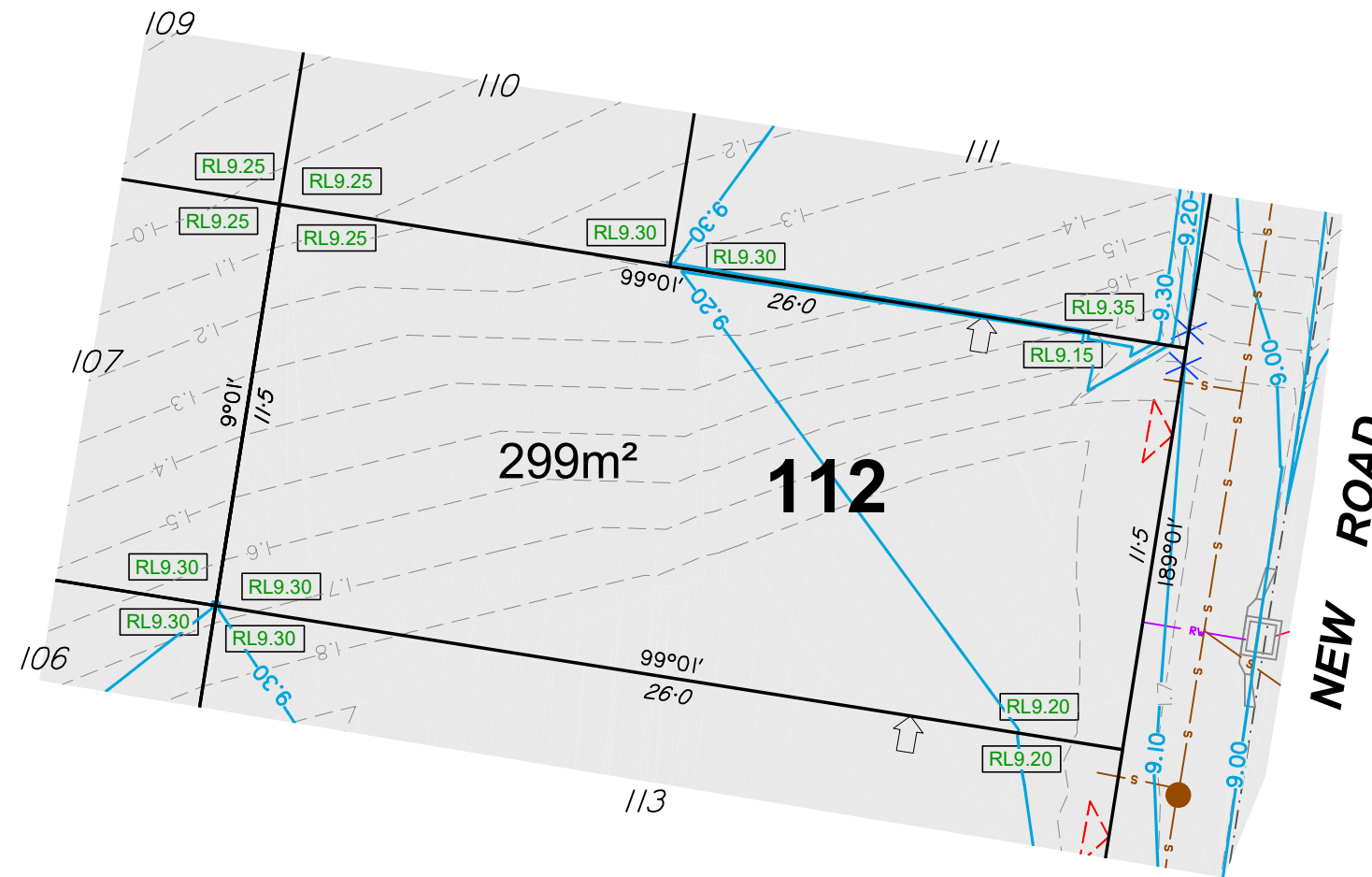
DISCLOSURE PLAN

For Proposed Lot 112
Riverbank Estate - Stage 2D

Currently Described As Part of Lot 1031 on SP342164
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay City

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by Developer)



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LEVEL DATUM
AHD.

DATE DRAWN 21-11-2024 DRAWING NO. SB3594_2D-01-112 VERSION B

DISCLOSURE PLAN

For Proposed Lot 113
Riverbank Estate - Stage 2D

Currently Described As Part of Lot 1031 on SP342164
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - rv — rv — Roofwater/Roofwater Pit
 -  Kerb Adapter
 - v — v — Water/Water Fitting
 - X Water Meter
 - Area to be Filled
 - RL9.32 Design Pad Level
 -  Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 -  Proposed Driveway
 -  Zero Lot Line Boundary
 -  1.8m High Timber Fence
(Installed by Developer)

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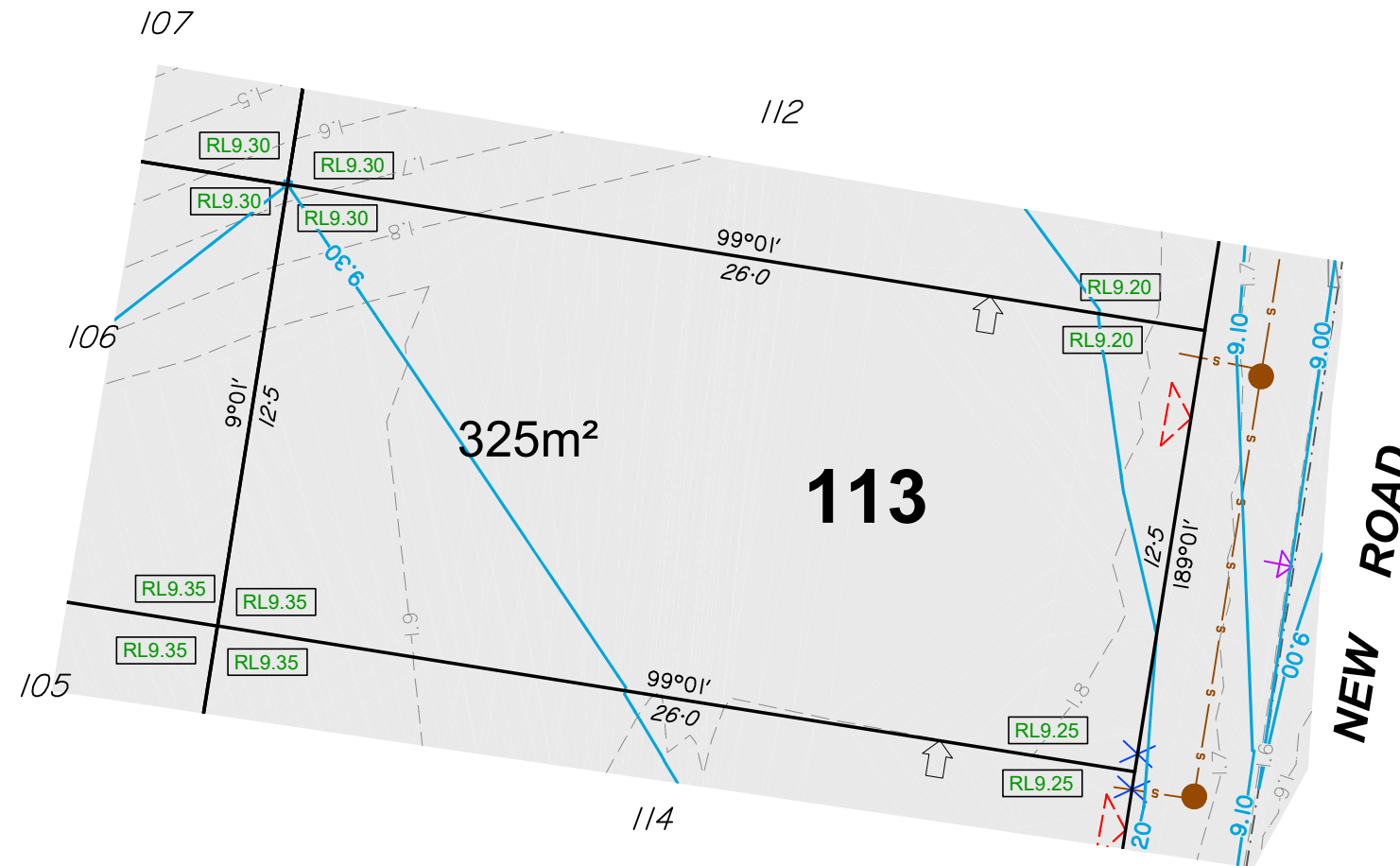
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LEVEL DATUM
AHD.

DATE DRAWN 21-11-2024 DRAWING NO. SB3594_2D-01-113 VERSION B



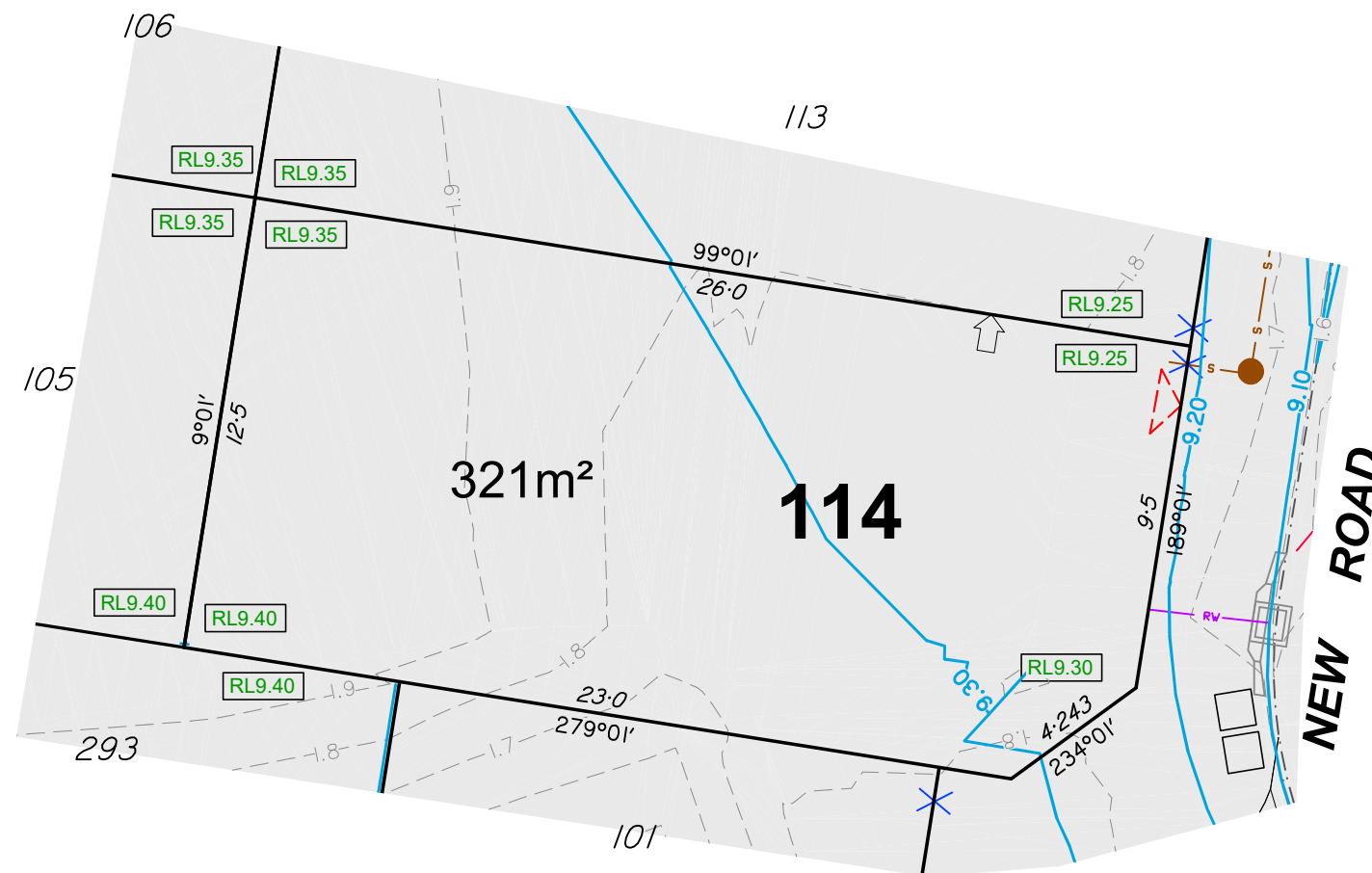
DISCLOSURE PLAN

For Proposed Lot 114
Riverbank Estate - Stage 2D

Currently Described As Part of Lot 1031 on SP342164
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay City

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by Developer)



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Scale 1:200 @A3

LEVEL DATUM
AHD.

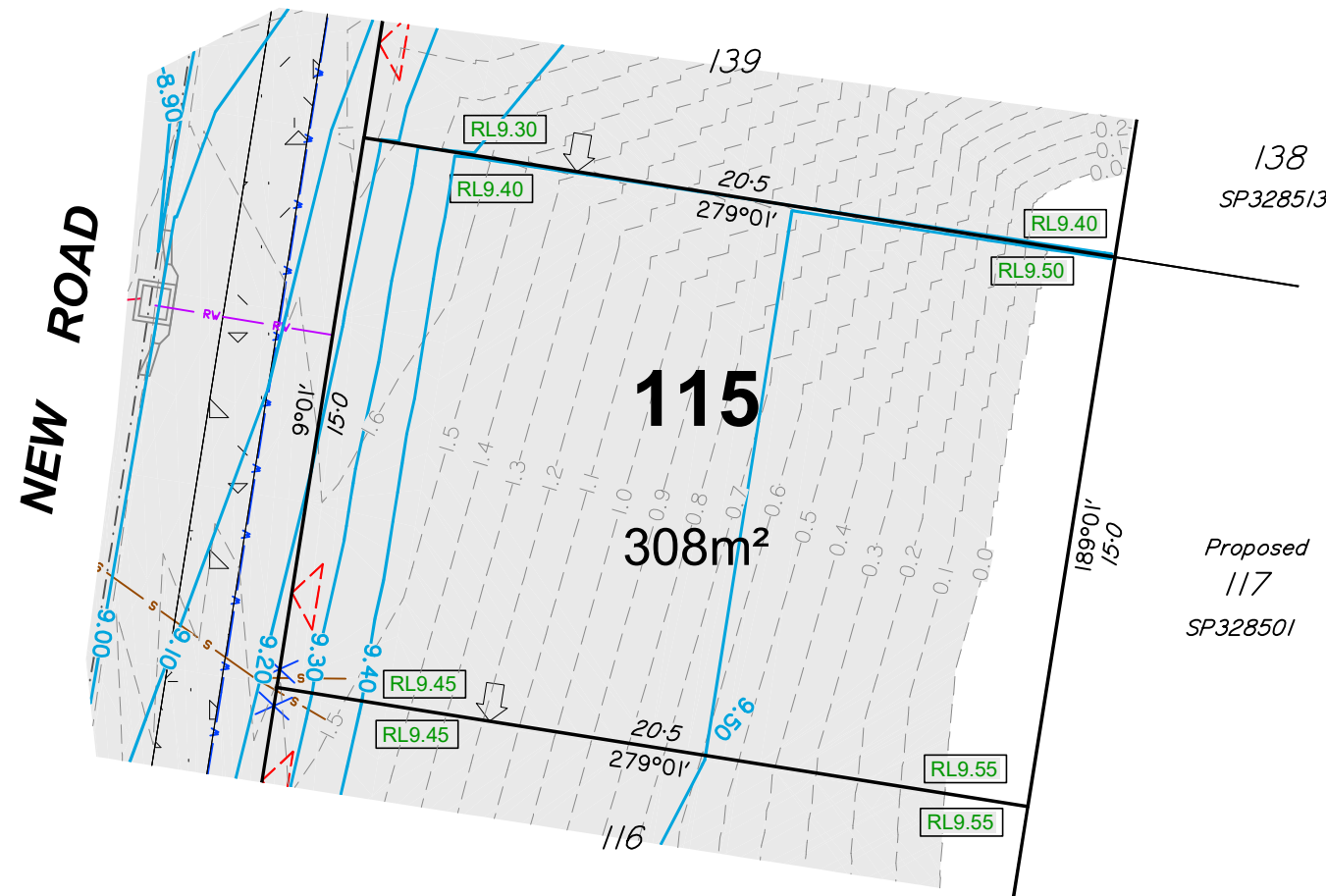
DATE DRAWN 21-11-2024	DRAWING NO. SB3594_2D-01-114	VERSION B
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DISCLOSURE PLAN

For Proposed Lot 115
Riverbank Estate - Stage 2D

Currently Described As Part of Lot 1031 on SP342164
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv — rv — Roofwater/Roofwater Pit
 - Kerb Adapter
 - v — v — Water/Water Fitting
 - X Water Meter
 - Area to be Filled
 - RL9.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Timber Fence
(Installed by Developer)



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Scale 1:200 @A3

LEVEL DATUM
AHD.

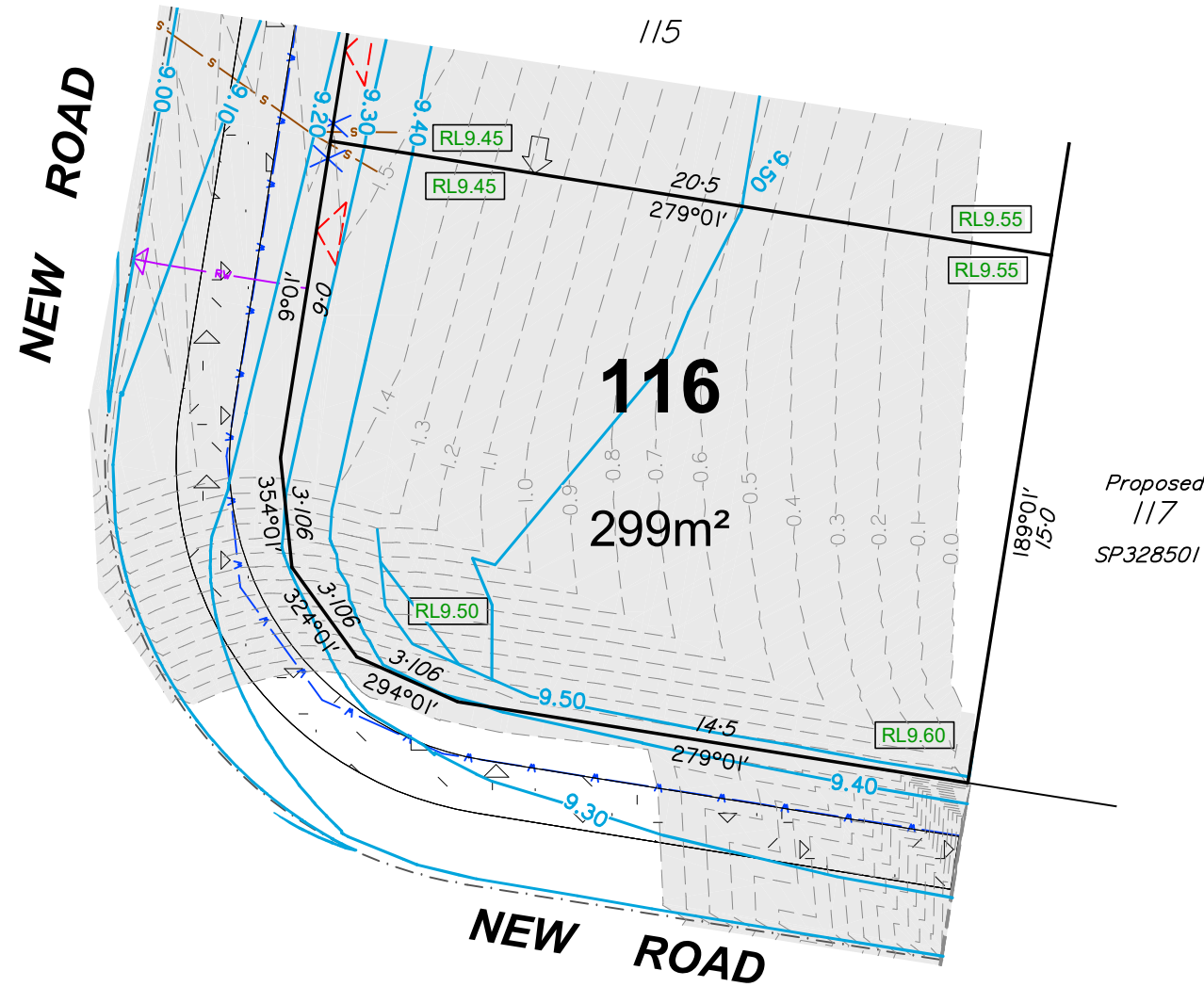
DATE DRAWN 21-11-2024 DRAWING NO. SB3594_2D-01-115 VERSION B

DISCLOSURE PLAN

For Proposed Lot 116
Riverbank Estate - Stage 2D

Currently Described As
RPD: Part of Lot 1031 on SP342164
Locality: Caboolture South
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - — — — — Easement Boundary
 - — — — — Kerb Line
 - — — — — Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv — rv — Roofwater/Roofwater Pit
 - Kerb Adapter
 - v — v — Water/Water Fitting
 - X Water Meter
 - Area to be Filled
 - RL9.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Timber Fence
(Installed by Developer)



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Scale 1:200 @A3

LEVEL DATUM
AHD.

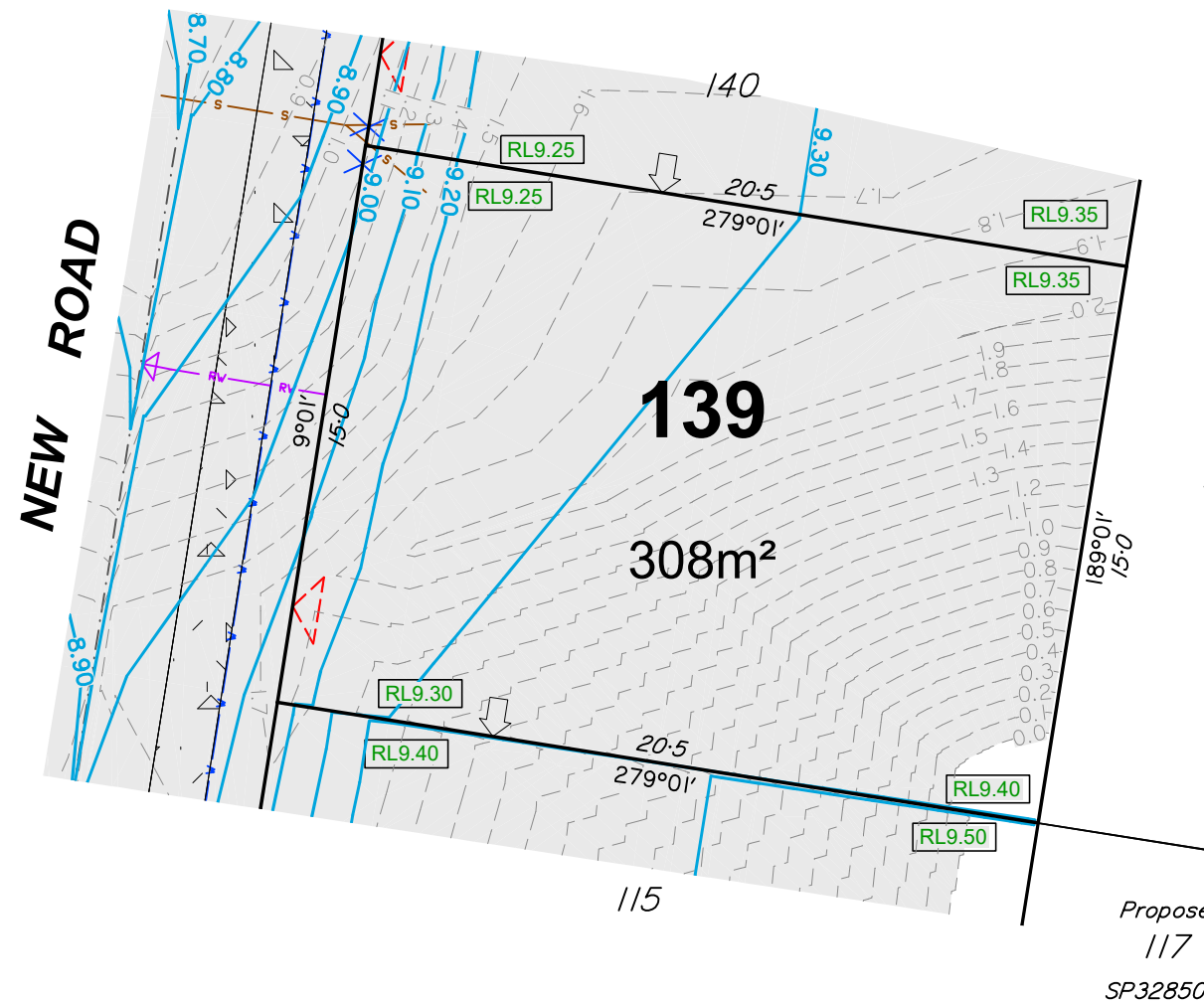
DATE DRAWN 21-11-2024 DRAWING NO. SB3594_2D-01-116 VERSION B

DISCLOSURE PLAN

For Proposed Lot 139
Riverbank Estate - Stage 2D

Currently Described As Part of Lot 1031 on SP342164
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv — rv — Roofwater/Roofwater Pit
 - Kerb Adapter
 - v — v — Water/Water Fitting
 - X Water Meter
 - Area to be Filled
 - RL9.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
 - Proposed Driveway
 - ← Zero Lot Line Boundary
 - 1.8m High Timber Fence
(Installed by Developer)



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MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 21-11-2024	DRAWING NO. SB3594_2D-01-139	VERSION B
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