

For Proposed Lot 1529 Riverbank - Stage 22B

Currently Described As

Part of Lot 1034 on SP328488 Locality:

Caboolture South Local Authority: Moreton Bay City

Legend: **—** 46.0

N

Finished Surface Contours (0.1m Interval)

Easement Boundary

Sewer/Sewer Manhole

Stormwater Gully Trap

Stormwater/Stormwater Manhole

Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled

RL57.32 Design Pad Level Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

- 1. This note is an integral part of this plan.
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- AS3798-2007 under Level 1 supervision. 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

5. Compaction of fill to be completed in accordance with



Planning Urban Design Landscape Environment Surveying

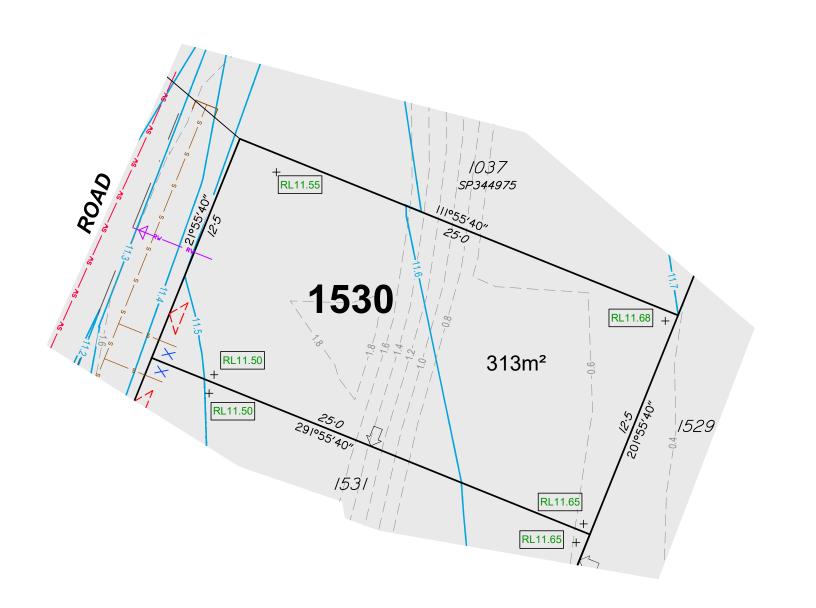
HORIZONTAL MERIDIAN MGA

VERSION

LEVEL DATUM Scale 1:200 @A3

AHD.

DATE DRAWN DRAWING NO. 05-07-2024 SB3594-22B-01-1529



For Proposed Lot 1530 Riverbank - Stage 22B

Currently Described As

RPD: Part of Lot 1034 on SP328488 Locality: Caboolture South

Local Authority: Cabooliture South

Moreton Bay City

<u>Legend:</u> 46.0

N

— 46.0 — Finished Surface Contours (0.1m Interval)

— 1.0 — — Depth of Fill Contours (0.2m Interval)

- --- Easement Boundary

- Kerb Line

s — s — Sewer/Sewer Manhole

sv — sv — Stormwater/Stormwater Manhole

Stormwater Gully Trap

RV Roofwater/Kerb Adapter

- v ---- v ---- Water/Water Fitting

Area to be Filled

RL57.32

Design Pad Level

- Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

Notes:

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- This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



Planning Urban Design Candscape Environment Surveying

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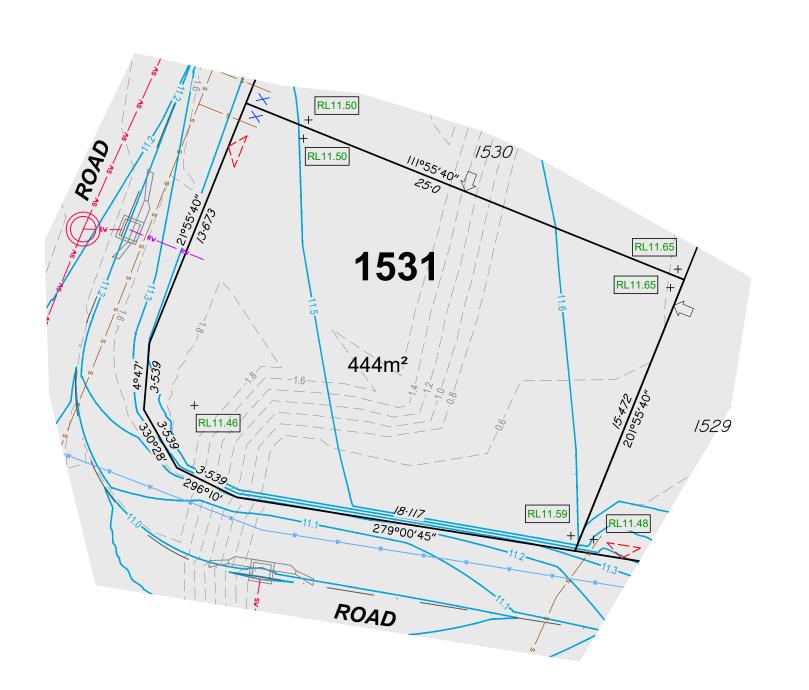
LEVEL DATUM AHD.

DATE DRAWN 05-07-2024

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Scale 1:200

AWN DRAWING NO. 2024 SB3594-22B-01-1530



For Proposed Lot 1531 Riverbank - Stage 22B

Currently Described As

Part of Lot 1034 on SP328488 Caboolture South Locality:

Moreton Bay City

Legend:

Local Authority:

N

Finished Surface Contours (0.1m Interval)

Easement Boundary

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled RL57.32

Design Pad Level Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

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 Finished surface contours, depth of fill contours, retaining
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Planning Urban Design Landscape Environment Surveying

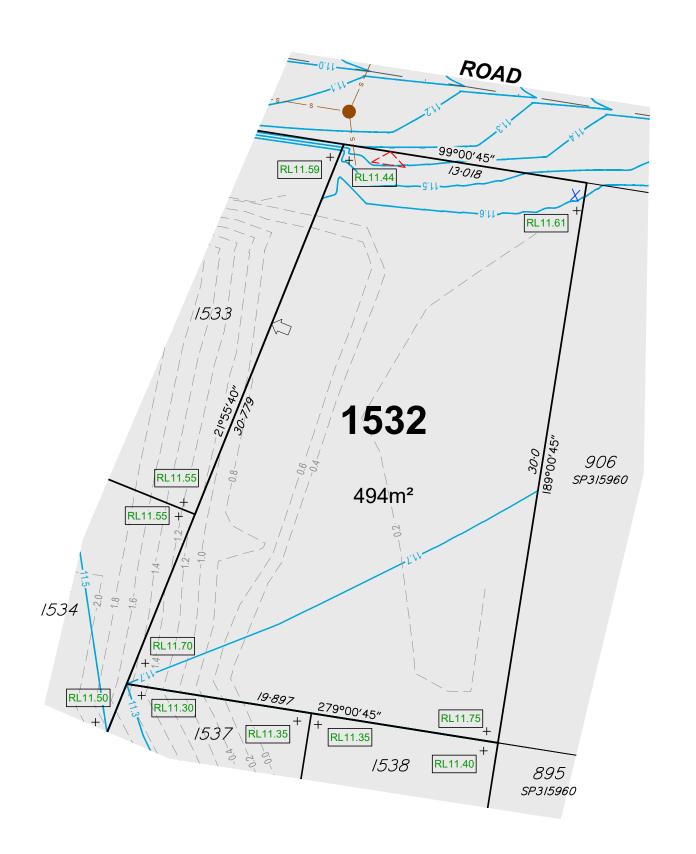
HORIZONTAL MERIDIAN

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LEVEL DATUM Scale 1:200 AHD.

DATE DRAWN 05-07-2024

DRAWING NO. SB3594-22B-01-1531



For Proposed Lot 1532 Riverbank - Stage 22B

Currently Described As

D: Part of Lot 1034 on SP328488

Locality: Caboolture South Local Authority: Moreton Bay City

<u>Legend:</u> 46.0

N

Finished Surface Contours (0.1m Interval)

— — Easement Boundary

Stormwater Gully Trap

Roofwater/Kerb Adapter

V — V — Water/Water Fitting

Area to be Filled

RL57.32

Design Pad Level

> Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

Notes:

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RIVERBANK



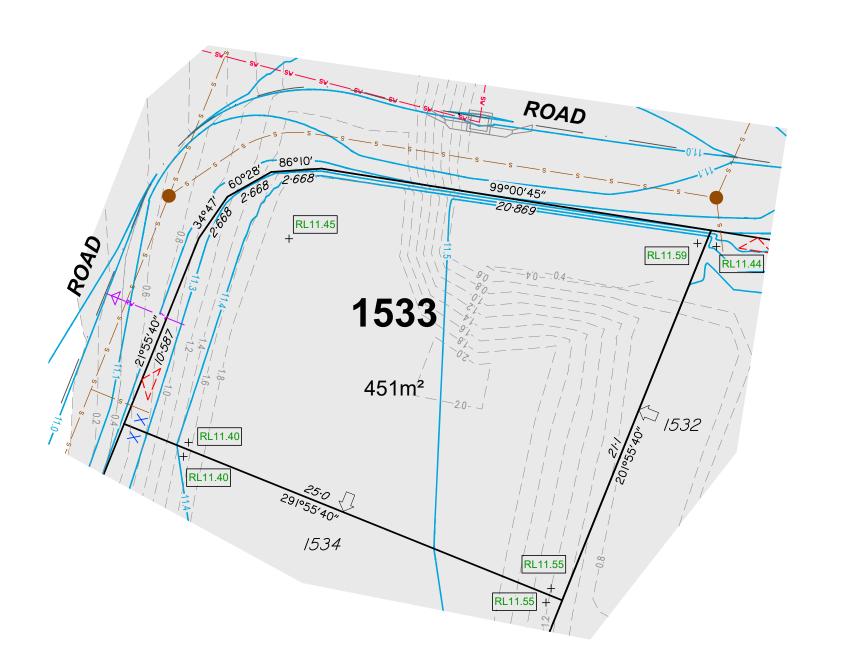
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DATE DRAWN 05-07-2024

Scale 1:200

RAWN DRAWING NO. -2024 SB3594-22B-01-1532



For Proposed Lot 1533 Riverbank - Stage 22B

Currently Described As

Part of Lot 1034 on SP328488 Caboolture South Locality:

Moreton Bay City

Legend:

Local Authority:

N

Finished Surface Contours (0.1m Interval) - Depth of Fill Contours (0.2m Interval)

Easement Boundary

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled

RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

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 Finished surface contours, depth of fill contours, retaining
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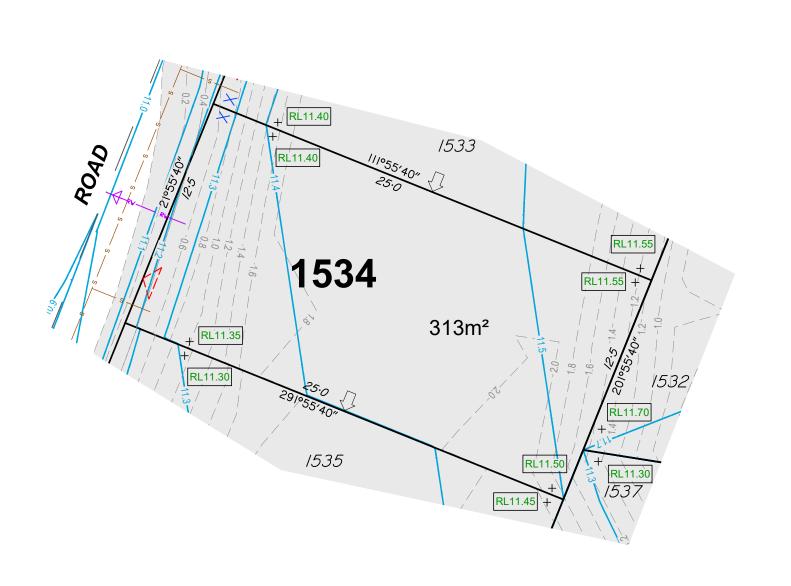
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MGA LEVEL DATUM Scale 1:200 AHD.

DATE DRAWN 05-07-2024

DRAWING NO. SB3594-22B-01-1533



For Proposed Lot 1534 Riverbank - Stage 22B

Currently Described As RPD:

Part of Lot 1034 on SP328488

Caboolture South Moreton Bay City

<u>Legend:</u> 46.0

Local Authority:

Locality:

N

— 46.0 — Finished Surface Contours (0.1m Interval)

— 1.0 — — Depth of Fill Contours (0.2m Interval)

— — Easement Boundary

s — s — Sewer/Sewer Manholesv — Sv — Stormwater/Stormwater Manhole

Water / Water Fitting

X
Water Meter

RL57.32 Area to be Filled

REST.32 Design Pad Level

Retaining Wall

RW Retaining Wall Height
(Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

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RIVERBANK



Planning Urban Design Candscape Environment Surveying

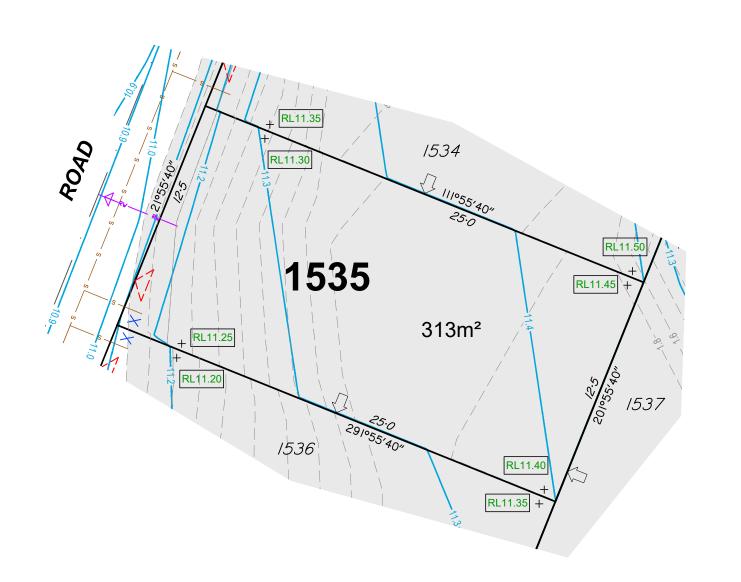
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LEVEL DATUM AHD.

DATE DRAWN 05-07-2024

Scale 1:200

VN DRAWING NO. 24 SB3594-22B-01-1534



For Proposed Lot 1535 Riverbank - Stage 22B

Currently Described As
RPD: Part of Lot 1034 on SP328488
Locality: Caboolture South
Local Authority: Moreton Bay City

- 46.0 — Finished Surface Contours (0.1m Interval)

— 1.0 — — Depth of Fill Contours (0.2m Interval)

— Easement Boundary

— Kerb Line
— s — Sewer/Sewer Manhole
— sv — Sv — Stormwater/Stormwater Manhole

Stormwater Gully Trap

RV RV RV ROofwater/Kerb Adapter

V V Water/Water Fitting

RL57.32 Area to be Filled
Design Pad Level
Retaining Wall

Retaining Wall Height
(Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

Notes:

Legend:

N

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RIVERBANK

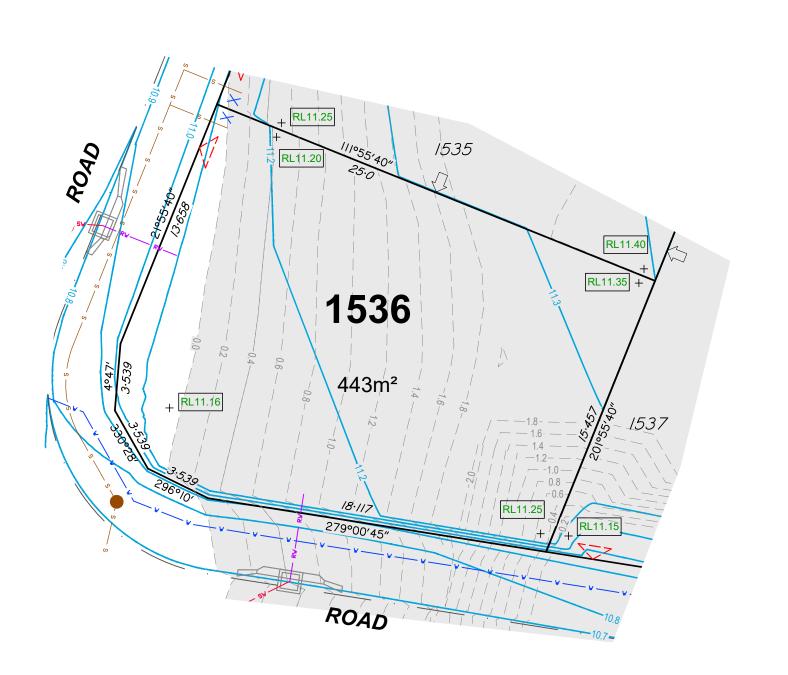


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LEVEL DATUM AHD.

DATE DRAWN 05-07-2024

DRAWING NO. SB3594-22B-01-1535



For Proposed Lot 1536 Riverbank - Stage 22B

Currently Described As RPD: Part of Lot 1034 on SP328488 Locality: Caboolture South Local Authority: Moreton Bay City

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Stormwater Gully Trap

RV RV RV ROofwater/Kerb Adapter

Water/Water Fitting

RL57.32 Area to be Filled

Design Pad Level

Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

Notes:

Legend:

N

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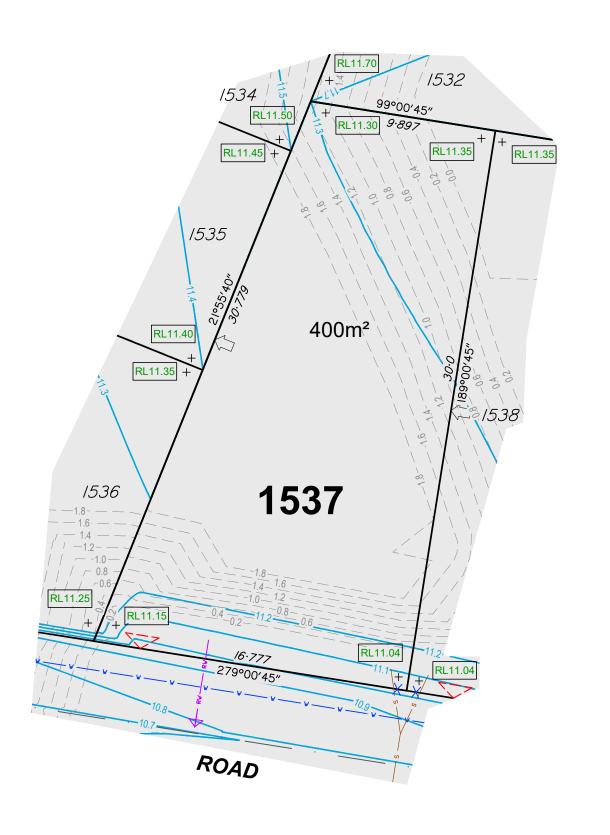
RIVERBANK



2 0 2 4 Scale 1:200 @A3

LEVEL DATUM AHD.

DATE DRAWN 05-07-2024 DRAWING NO. SB3594-22B-01-1536



For Proposed Lot 1537 Riverbank - Stage 22B

Currently Described As

Part of Lot 1034 on SP328488 Locality:

Caboolture South Local Authority: Moreton Bay City

Legend: **—** 46.0

N

Finished Surface Contours (0.1m Interval)

Easement Boundary

Sewer/Sewer Manhole Stormwater/Stormwater Manhole

Stormwater Gully Trap Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled

RL57.32 Design Pad Level Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

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Planning Urban Design Alandscape Environment A Surveying

HORIZONTAL MERIDIAN MGA

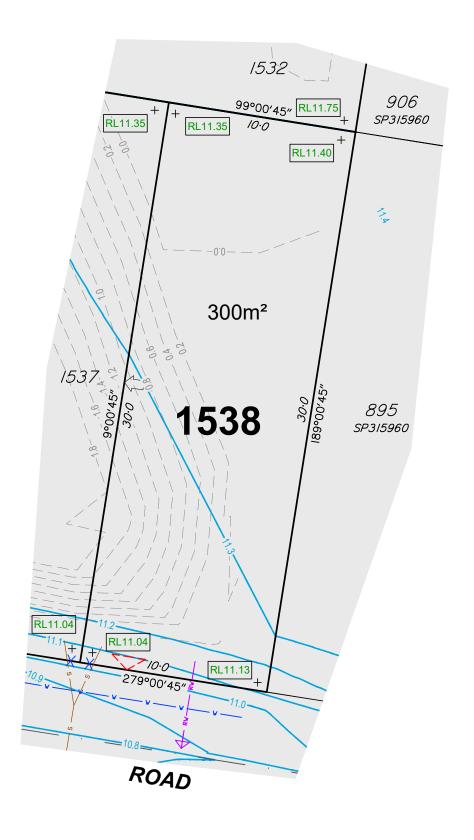
> LEVEL DATUM AHD.

DATE DRAWN 05-07-2024

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Scale 1:200

DRAWING NO. SB3594-22B-01-1537



For Proposed Lot 1538 Riverbank - Stage 22B

Currently Described As

Part of Lot 1034 on SP328488 Locality:

Caboolture South Local Authority: Moreton Bay City

Legend: **— 46.0**

N

Finished Surface Contours (0.1m Interval)

- Easement Boundary

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

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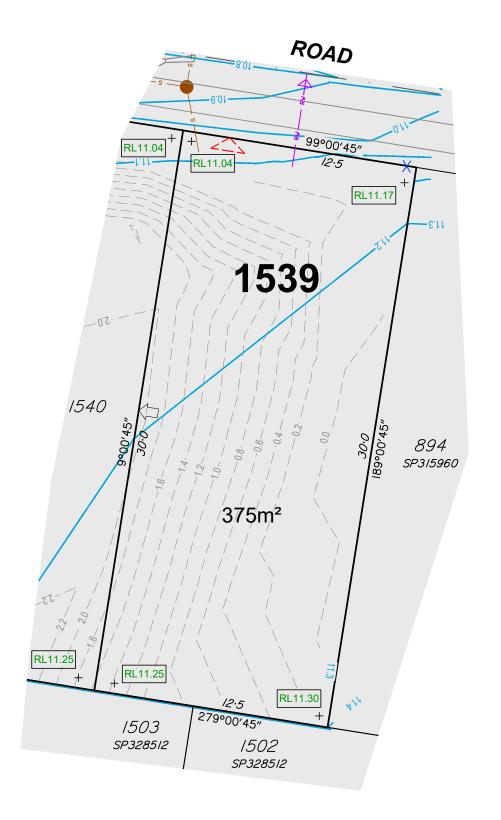
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MGA LEVEL DATUM

AHD.

DATE DRAWN 05-07-2024

DRAWING NO. SB3594-22B-01-1538



For Proposed Lot 1539 Riverbank - Stage 22B

Currently Described As

Part of Lot 1034 on SP328488 Locality:

Caboolture South Local Authority: Moreton Bay City

Legend: **—** 46.0

N

Finished Surface Contours (0.1m Interval)

Easement Boundary

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

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Planning Urban Design Landscape Environment Surveying

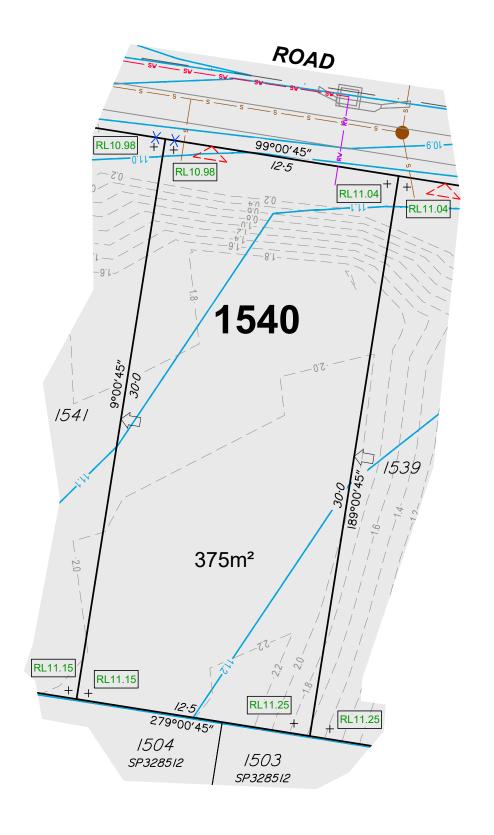
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LEVEL DATUM @A3 AHD.

DATE DRAWN 05-07-2024

Scale 1:200

DRAWING NO. SB3594-22B-01-1539



For Proposed Lot 1540 Riverbank - Stage 22B

Currently Described As

Part of Lot 1034 on SP328488 Locality:

Caboolture South Moreton Bay City

Legend: **- 46.0**

Local Authority:

N

Finished Surface Contours (0.1m Interval)

- Easement Boundary

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter Water/Water Fitting

Area to be Filled RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

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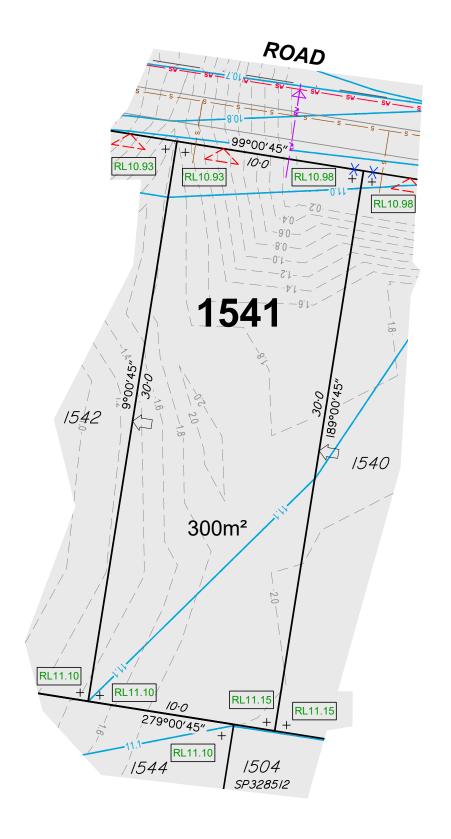


Planning Urban Design Landscape Environment Surveying HORIZONTAL MERIDIAN

MGA LEVEL DATUM Scale 1:200 @A3

AHD. DATE DRAWN DRAWING NO. **VERSION**

05-07-2024 SB3594-22B-01-1540



For Proposed Lot 1541 Riverbank - Stage 22B

Currently Described As

Part of Lot 1034 on SP328488 Locality:

Caboolture South Moreton Bay City

Legend: **—** 46.0

Local Authority:

N

Finished Surface Contours (0.1m Interval)

- Easement Boundary

Stormwater Gully Trap

Sewer/Sewer Manhole Stormwater/Stormwater Manhole

Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

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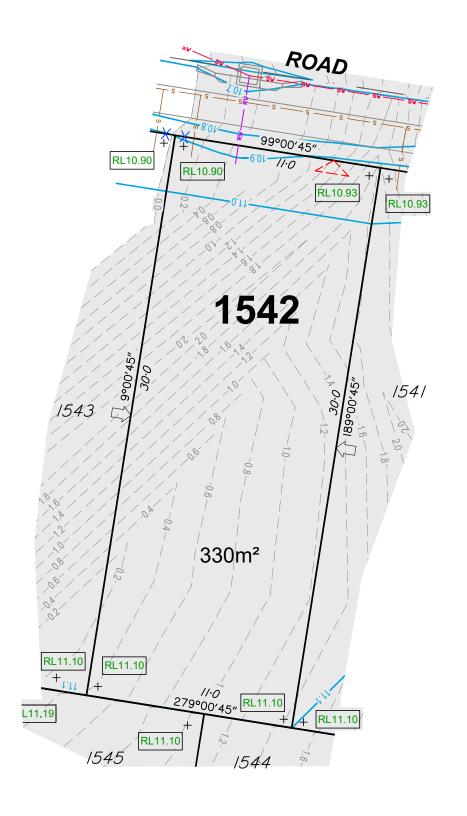


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LEVEL DATUM Scale 1:200 @A3 AHD.

VERSION

DATE DRAWN DRAWING NO. 05-07-2024 SB3594-22B-01-1541



For Proposed Lot 1542 Riverbank - Stage 22B

Currently Described As

Part of Lot 1034 on SP328488 Locality:

Caboolture South Local Authority: Moreton Bay City

Legend:

N

Finished Surface Contours (0.1m Interval)

Easement Boundary

Stormwater Gully Trap

Sewer/Sewer Manhole Stormwater/Stormwater Manhole

Roofwater/Kerb Adapter Water/Water Fitting

Area to be Filled RL57.32 Design Pad Level

Retaining Wall Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1. This note is an integral part of this plan.

AS3798-2007 under Level 1 supervision.

- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
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Planning Urban Design Landscape Environment Surveying HORIZONTAL MERIDIAN

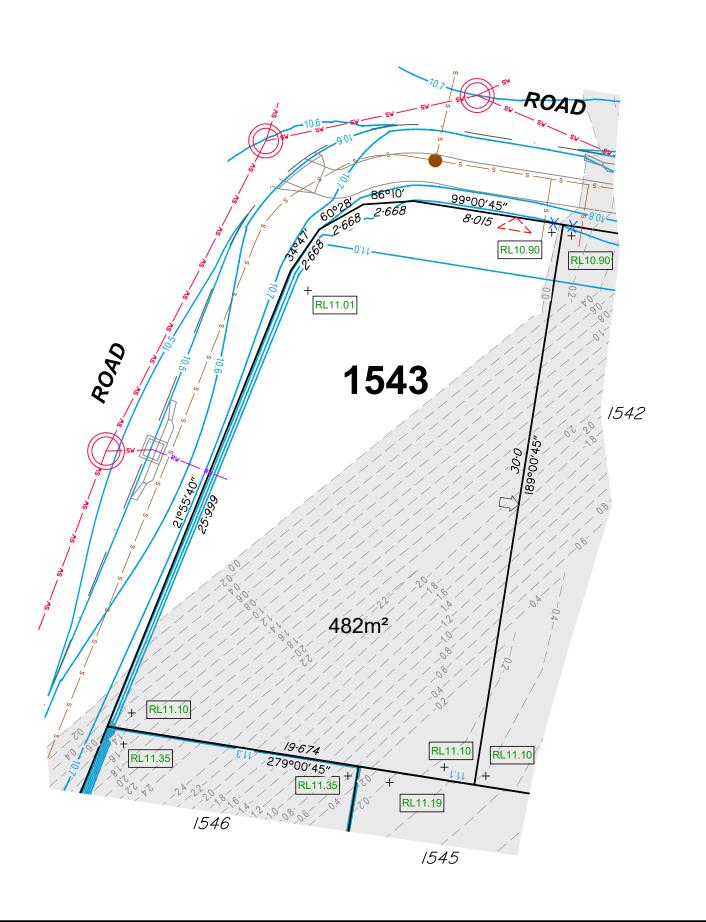
MGA LEVEL DATUM Scale 1:200 @A3

DATE DRAWN

DRAWING NO. 05-07-2024 SB3594-22B-01-1542

VERSION

AHD.



For Proposed Lot 1543 Riverbank - Stage 22B

Currently Described As

Part of Lot 1034 on SP328488 Locality:

Caboolture South Local Authority: Moreton Bay City

Legend:

N

Finished Surface Contours (0.1m Interval) — Depth of Fill Contours (0.2m Interval)

Easement Boundary

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

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RIVERBANK



Planning Urban Design Landscape Environment Surveying

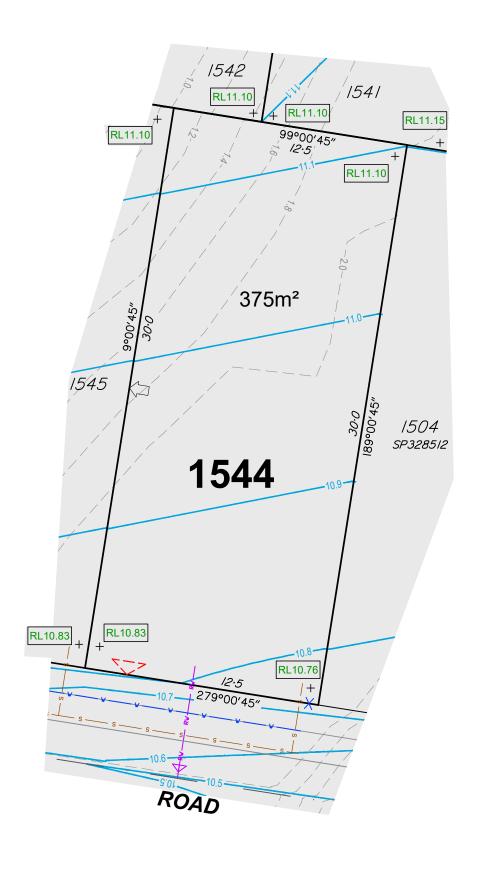
HORIZONTAL MERIDIAN MGA

> LEVEL DATUM AHD.

DATE DRAWN 05-07-2024

Scale 1:200

DRAWING NO. SB3594-22B-01-1543



For Proposed Lot 1544 Riverbank - Stage 22B

Currently Described As
RPD: Part of Lot 1034 on SP328488
Locality: Caboolture South
Local Authority: Moreton Bay City

Legend:

46.0 Finished Surface Contours (0.1m Interval

46.0 Finished Surface Contours (0.1m Interval) Easement Boundary Sewer/Sewer Manhole Stormwater/Stormwater Manhole Stormwater Gully Trap Roofwater/Kerb Adapter Water/Water Fitting Area to be Filled RL57.32 Design Pad Level Retaining Wall Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall) Proposed Driveway Zero Lot Line Boundary

Notes:

N

- 1. This note is an integral part of this plan.
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- AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

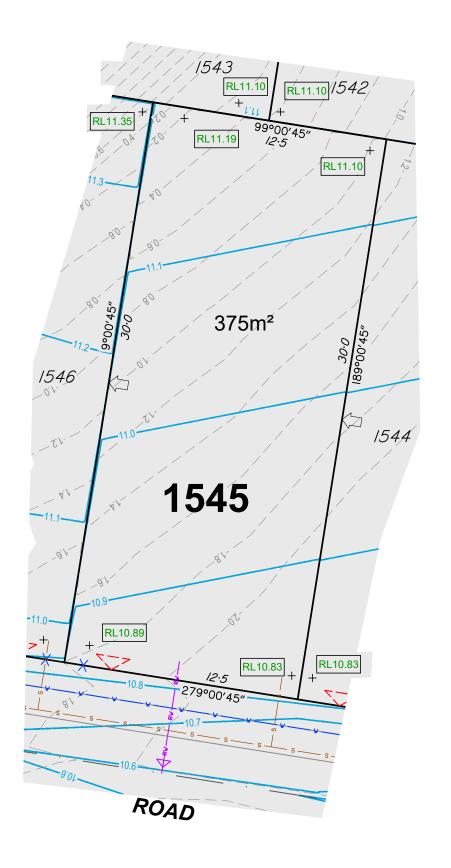
RIVERBANK



Scale 1:200 @A3 LEVEL DATUM AHD.

DATE DRAWN 05-07-2024 SB

DRAWING NO. SB3594-22B-01-1544



For Proposed Lot 1545 Riverbank - Stage 22B

Currently Described As

Part of Lot 1034 on SP328488

Caboolture South Moreton Bay City

Legend:

Local Authority:

Locality:

N

Finished Surface Contours (0.1m Interval) — Depth of Fill Contours (0.2m Interval)

Easement Boundary

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter Water/Water Fitting

Area to be Filled

RL57.32 Design Pad Level Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

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- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

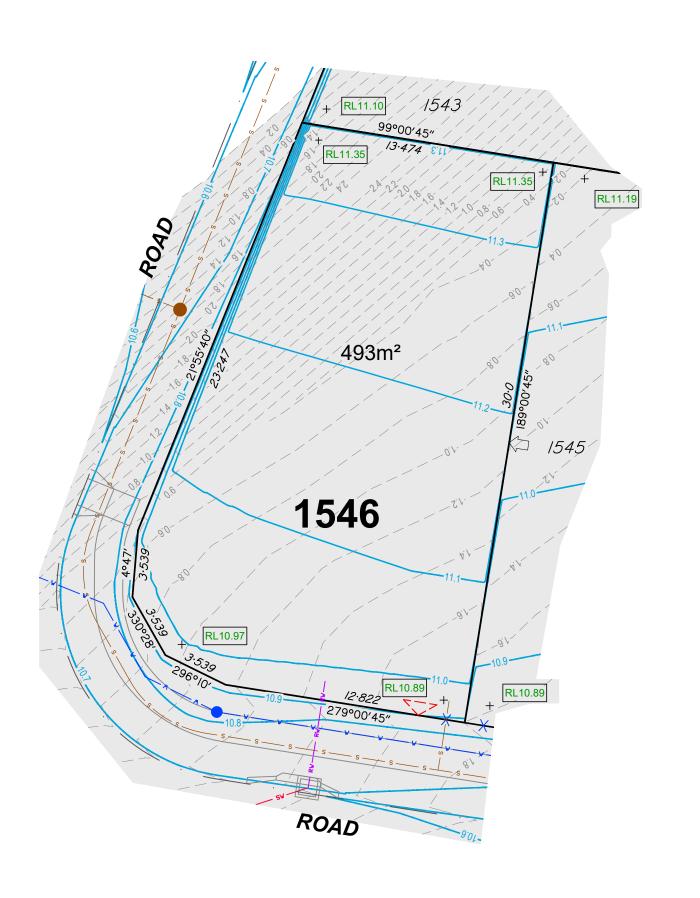


HORIZONTAL MERIDIAN MGA Scale 1:200 @A3

LEVEL DATUM AHD.

DATE DRAWN 05-07-2024

DRAWING NO. SB3594-22B-01-1545



For Proposed Lot 1546 Riverbank - Stage 22B

Currently Described As

Part of Lot 1034 on SP328488 Caboolture South Locality:

Moreton Bay City

Legend:

Local Authority:

N

Finished Surface Contours (0.1m Interval) — Depth of Fill Contours (0.2m Interval)

Easement Boundary

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

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- Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



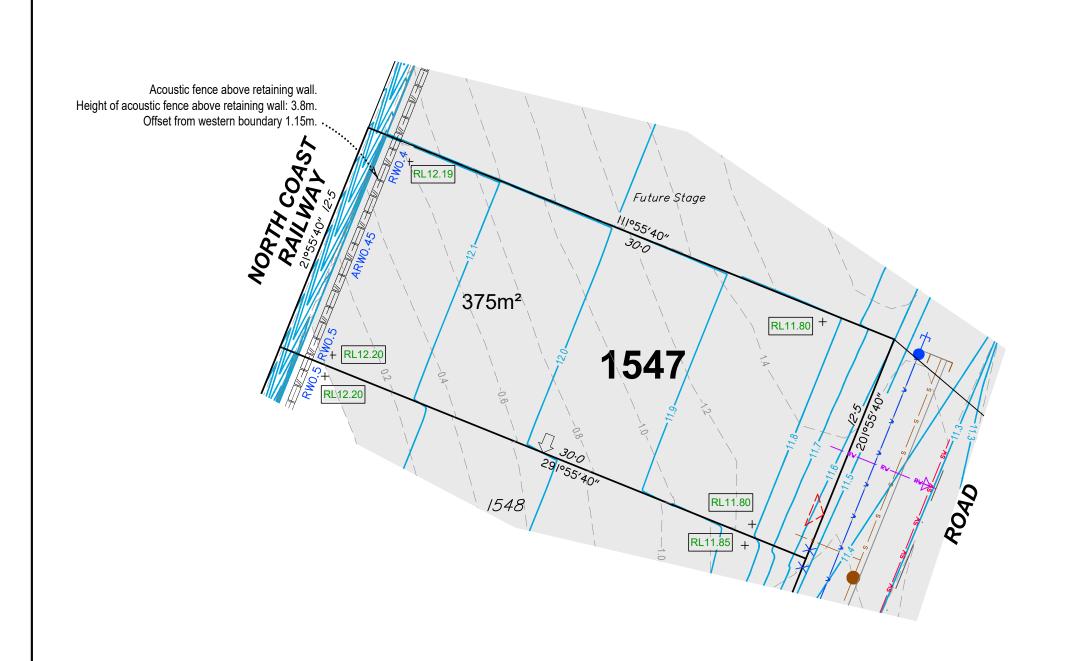
HORIZONTAL MERIDIAN MGA

LEVEL DATUM AHD.

DATE DRAWN 05-07-2024

Scale 1:200

DRAWING NO. SB3594-22B-01-1546



For Proposed Lot 1547 Riverbank - Stage 22B

Currently Described As
RPD: Part of Lot 1034 on SP328488
Locality: Caboolture South

Local Authority: Capooliture South

Local Authority: Moreton Bay City

Legend:

N

— — | 0 — — — Depth of Fill Contours (0.2m Interval)

Finished Surface Contours (0.1m Interval)

— — Easement Boundary

· — · — · — Kerb Line

s — s Sewer/Sewer Manhole

sv — Sv — Stormwater/Stormwater Manhole

Stormwater Gully Trap

RV RV RV Roofwater/Kerb Adapter

─ v ── v ── Water/Water Fitting

Area to be Filled

RL57.32

Design Pad Level

Retaining Wall

RW

Retaining Wall Height
(Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

Notes:

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- wall details and proposed services provided by Egis on 31-05-2024.
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- This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



Planning Urban Design Candscape Environment N Surveying

HORIZONTAL MERIDIAN

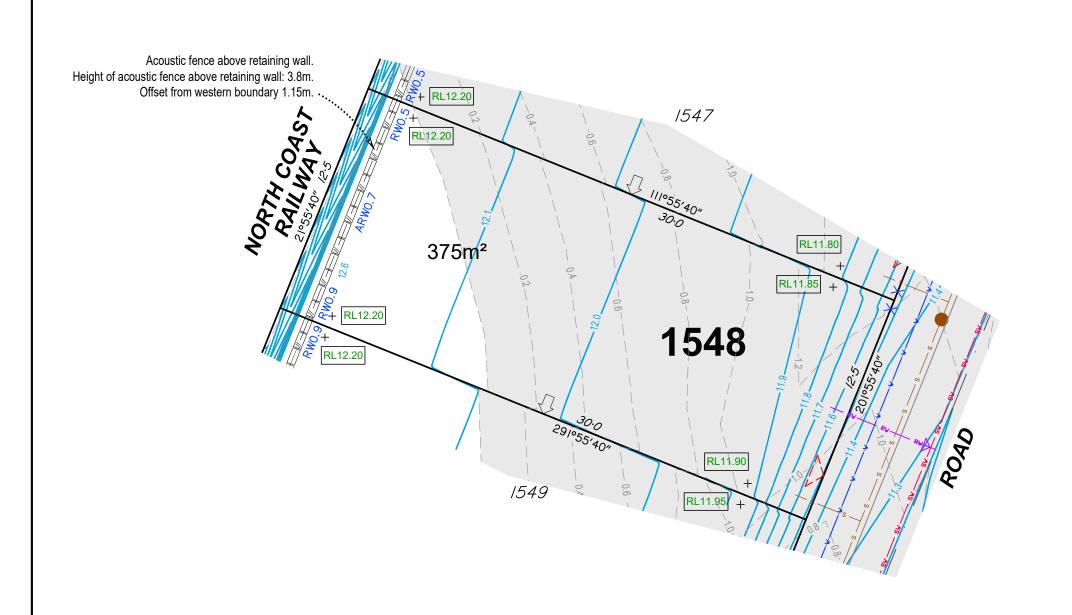
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LEVEL DATUM AHD.

MGA

DATE DRAWN 05-07-2024

RAWN DRAWING NO. 2024 SB3594-22B-01-1547



For Proposed Lot 1548 Riverbank - Stage 22B

Currently Described As RPD: Part of Lot 1034 on SP328488 Locality: Caboolture South Local Authority: Moreton Bay City

Legend:

Legend: Finished Surface Contours (0.1m Interval) - Easement Boundary Sewer/Sewer Manhole Stormwater/Stormwater Manhole Stormwater Gully Trap Roofwater/Kerb Adapter Water/Water Fitting Area to be Filled RL57.32 Design Pad Level Retaining Wall Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall) Proposed Driveway

Notes:

N

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining

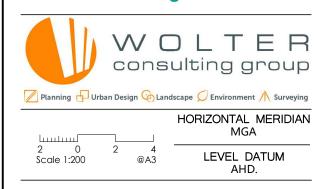
AS3798-2007 under Level 1 supervision.

wall details and proposed services provided by Egis on 31-05-2024.

Zero Lot Line Boundary

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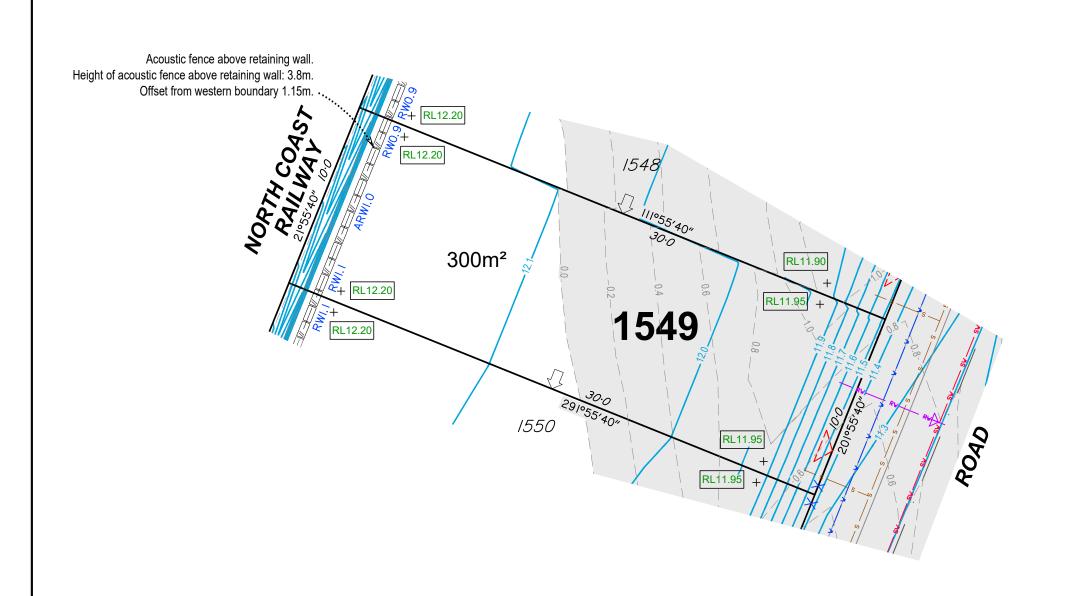
RIVERBANK



DATE DRAWN 05-07-2024

WN DRAWING NO. 24 SB3594-22B-01-1548

VERSION 8 B



For Proposed Lot 1549 Riverbank - Stage 22B

Currently Described As

Part of Lot 1034 on SP328488

Caboolture South Moreton Bay City

Legend: **46.0**

Local Authority:

Locality:

N

Finished Surface Contours (0.1m Interval)

- Easement Boundary

Sewer/Sewer Manhole

Stormwater Gully Trap

Stormwater/Stormwater Manhole

Roofwater/Kerb Adapter Water/Water Fitting

Area to be Filled

RL57.32

Design Pad Level

Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)



Proposed Driveway

Zero Lot Line Boundary

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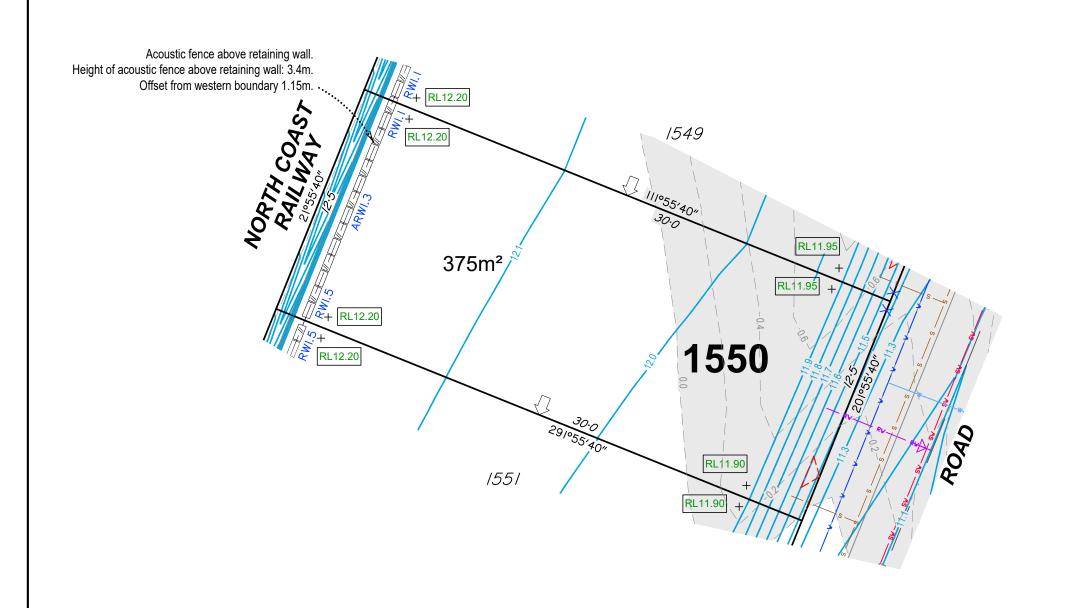
HORIZONTAL MERIDIAN MGA

> LEVEL DATUM AHD.

DATE DRAWN 05-07-2024

Scale 1:200

DRAWING NO. SB3594-22B-01-1549



For Proposed Lot 1550 Riverbank - Stage 22B

Currently Described As

Part of Lot 1034 on SP328488 Locality:

Caboolture South Moreton Bay City

Legend: **—** 46.0

Local Authority:

N

Finished Surface Contours (0.1m Interval)

- Easement Boundary

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter Water/Water Fitting

Area to be Filled RL57.32 Design Pad Level

Retaining Wall Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

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Planning Urban Design Landscape Environment Surveying

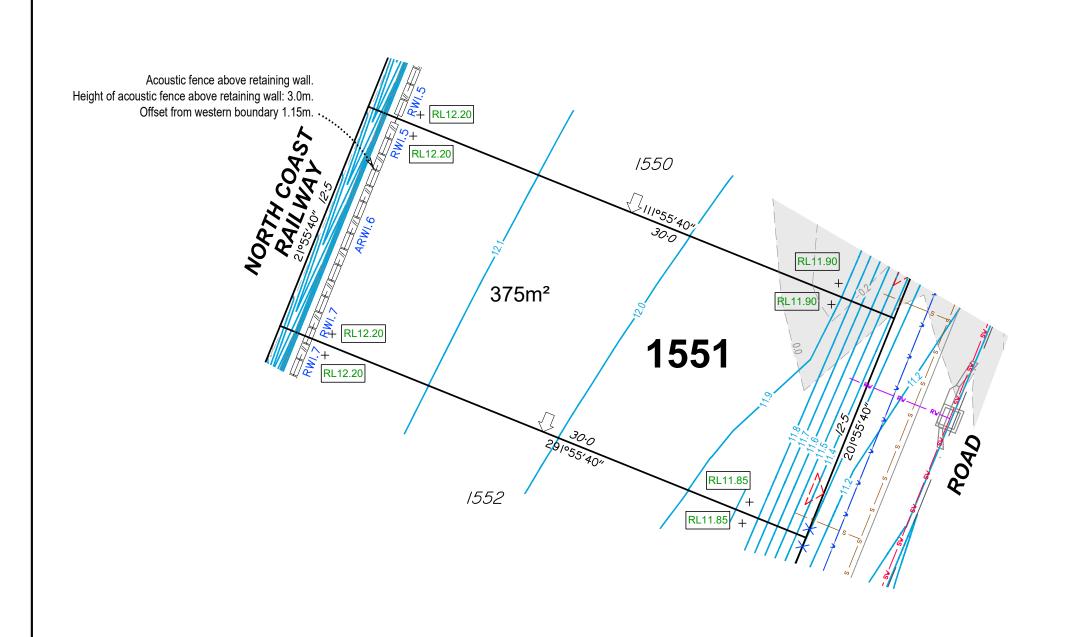
HORIZONTAL MERIDIAN MGA

LEVEL DATUM AHD.

DATE DRAWN 05-07-2024

Scale 1:200

DRAWING NO. SB3594-22B-01-1550



For Proposed Lot 1551 Riverbank - Stage 22B

Currently Described As

Part of Lot 1034 on SP328488 Locality:

Caboolture South Moreton Bay City

Legend:

Local Authority:

N

Finished Surface Contours (0.1m Interval) — — | 0 — — — Depth of Fill Contours (0.2m Interval)

- Easement Boundary

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter Water/Water Fitting

Area to be Filled RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

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Planning Urban Design Landscape Environment Surveying

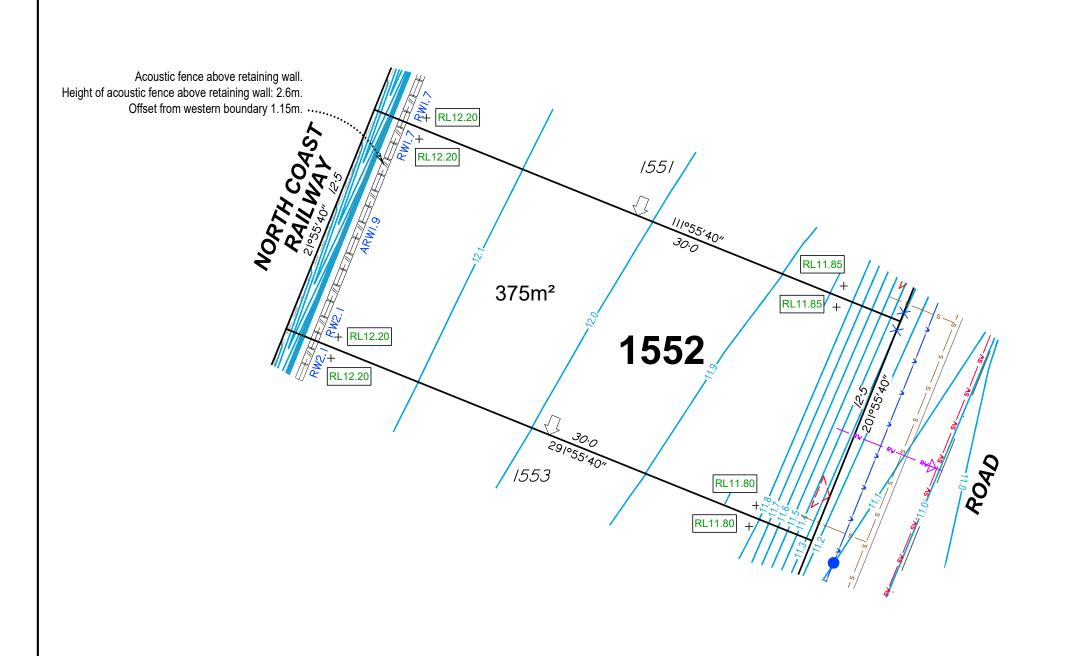
HORIZONTAL MERIDIAN MGA

LEVEL DATUM AHD.

DATE DRAWN 05-07-2024

Scale 1:200

DRAWING NO. SB3594-22B-01-1551



For Proposed Lot 1552 Riverbank - Stage 22B

Currently Described As

Part of Lot 1034 on SP328488 Locality:

Caboolture South Moreton Bay City

Legend: ---- 46.0

Local Authority:

N

Finished Surface Contours (0.1m Interval) — — | 0 — — — Depth of Fill Contours (0.2m Interval)

- Easement Boundary

Sewer/Sewer Manhole Stormwater/Stormwater Manhole

Stormwater Gully Trap Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN MGA

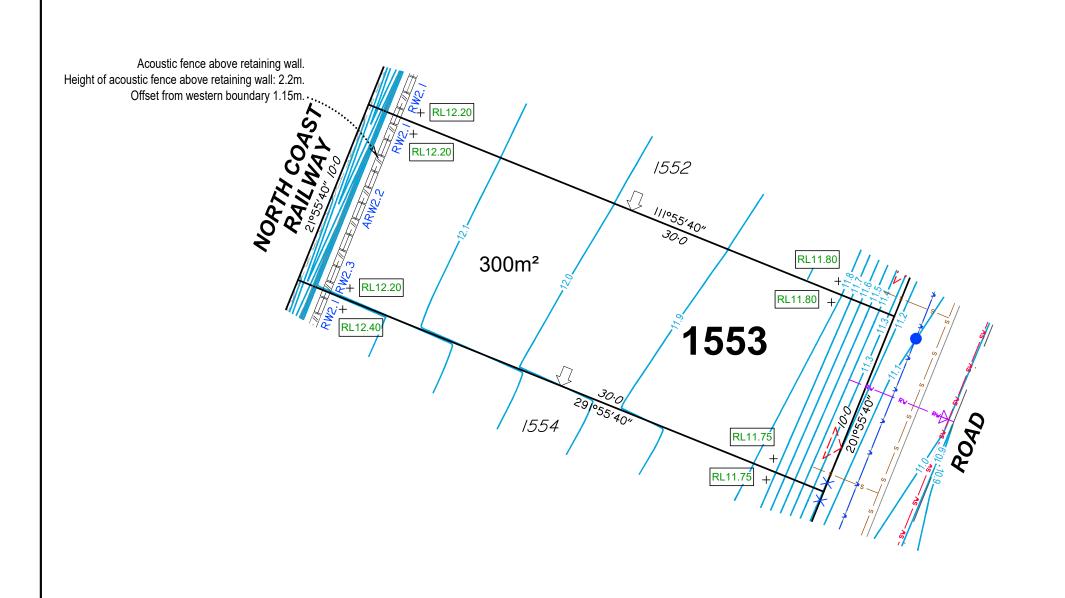
LEVEL DATUM AHD.

DATE DRAWN 05-07-2024

Scale 1:200

DRAWING NO. SB3594-22B-01-1552

@A3



For Proposed Lot 1553 Riverbank - Stage 22B

Currently Described As

Part of Lot 1034 on SP328488

Caboolture South Moreton Bay City

Legend: **—** 46.0

Local Authority:

Locality:

N

Finished Surface Contours (0.1m Interval) — — | 0 — — — Depth of Fill Contours (0.2m Interval)

- Easement Boundary

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

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HORIZONTAL MERIDIAN MGA

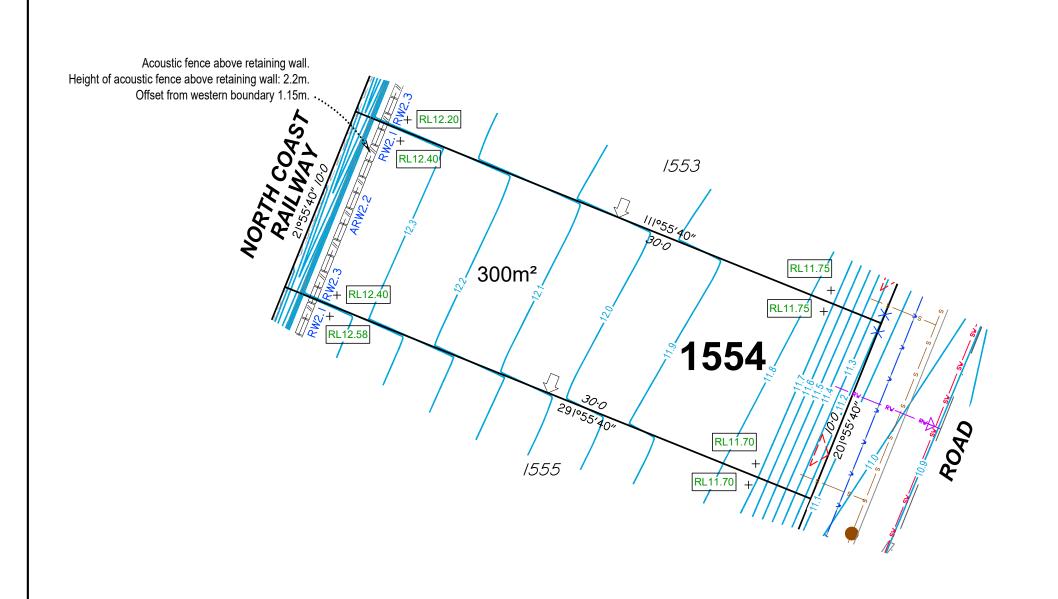
LEVEL DATUM AHD.

DATE DRAWN 05-07-2024

Scale 1:200

DRAWING NO. SB3594-22B-01-1553

@A3



For Proposed Lot 1554 Riverbank - Stage 22B

Currently Described As

Part of Lot 1034 on SP328488 Locality:

Caboolture South Moreton Bay City

Legend: **46.0**

Local Authority:

N

Finished Surface Contours (0.1m Interval)

— — | 0 — — — Depth of Fill Contours (0.2m Interval) - Easement Boundary

Sewer/Sewer Manhole

Stormwater Gully Trap

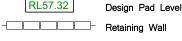
Stormwater/Stormwater Manhole

Water/Water Fitting

Roofwater/Kerb Adapter

RL57.32

Area to be Filled



Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)



Zero Lot Line Boundary

Proposed Driveway

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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN MGA

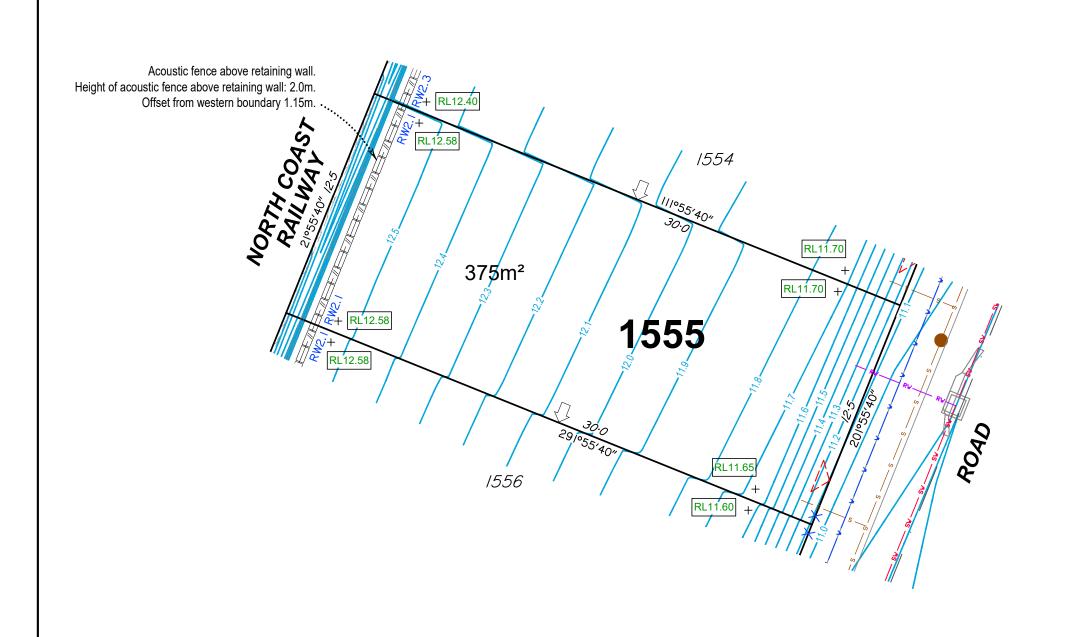
LEVEL DATUM AHD.

DATE DRAWN 05-07-2024

Scale 1:200

DRAWING NO. SB3594-22B-01-1554

@A3



For Proposed Lot 1555 Riverbank - Stage 22B

Currently Described As

Part of Lot 1034 on SP328488 Locality:

Caboolture South Local Authority: Moreton Bay City

Legend:

N

Finished Surface Contours (0.1m Interval) — — | 0 — — — Depth of Fill Contours (0.2m Interval)

- Easement Boundary

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter Water/Water Fitting

Area to be Filled

RL57.32

Retaining Wall

Design Pad Level

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

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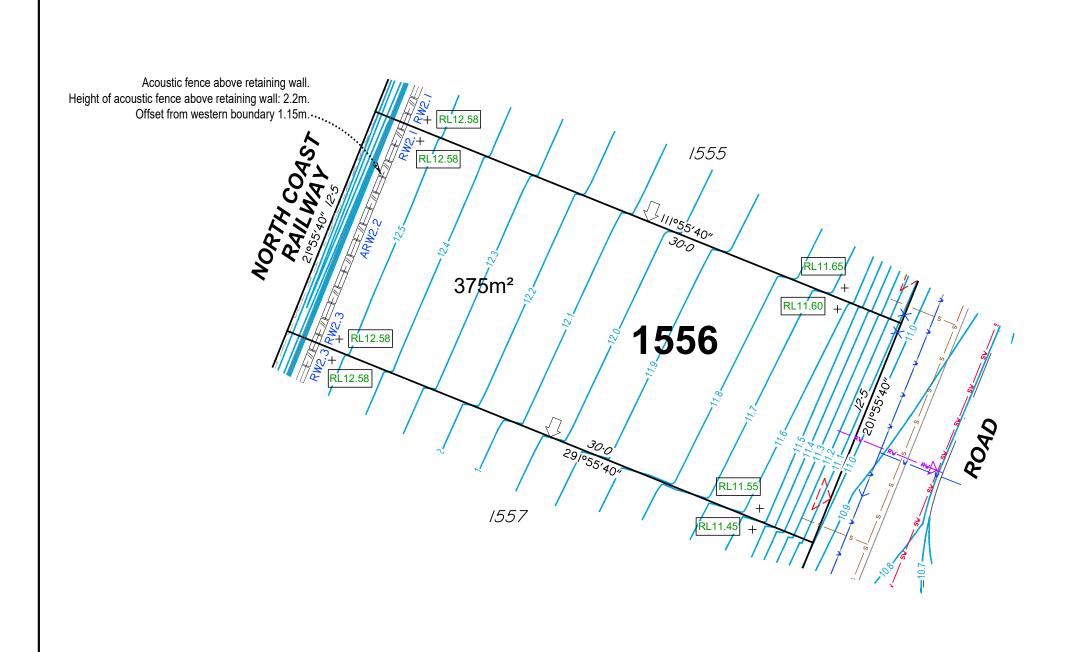
Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN MGA

LEVEL DATUM Scale 1:200 AHD.

DATE DRAWN 05-07-2024

DRAWING NO. SB3594-22B-01-1555



For Proposed Lot 1556 Riverbank - Stage 22B

Currently Described As

Part of Lot 1034 on SP328488 Locality:

— — | 0 — — — Depth of Fill Contours (0.2m Interval)

Caboolture South Moreton Bay City

Legend:

Local Authority:

N

Finished Surface Contours (0.1m Interval)

- Easement Boundary

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled

RL57.32 Design Pad Level Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

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Planning Urban Design Landscape Environment Surveying

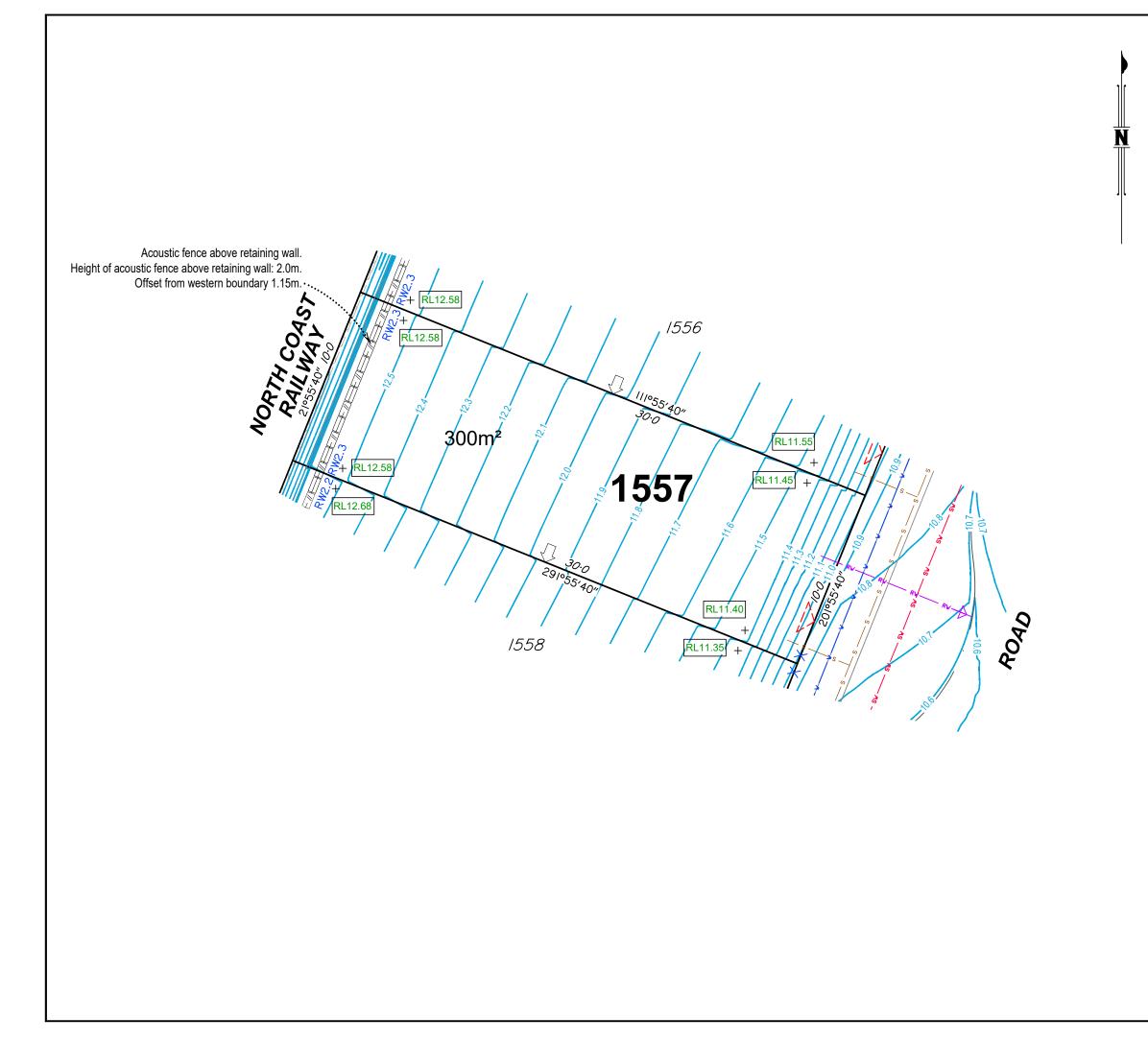
HORIZONTAL MERIDIAN MGA

LEVEL DATUM AHD.

DATE DRAWN 05-07-2024

Scale 1:200

DRAWING NO. SB3594-22B-01-1556



For Proposed Lot 1557 Riverbank - Stage 22B

Currently Described As

Part of Lot 1034 on SP328488 Locality:

Caboolture South Local Authority: Moreton Bay City

Legend:

Finished Surface Contours (0.1m Interval) — — | 0 — — — Depth of Fill Contours (0.2m Interval)

- Easement Boundary

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Water/Water Fitting

Area to be Filled

RL57.32 Design Pad Level Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Roofwater/Kerb Adapter

Proposed Driveway Zero Lot Line Boundary

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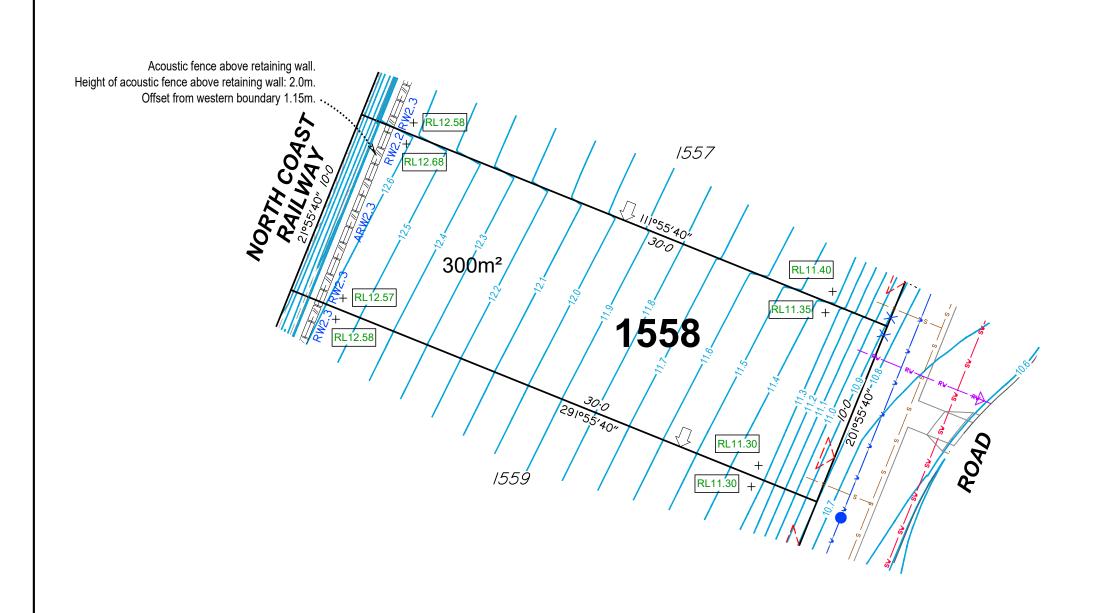
Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN MGA

LEVEL DATUM Scale 1:200 AHD.

DATE DRAWN 05-07-2024

DRAWING NO. SB3594-22B-01-1557



For Proposed Lot 1558 Riverbank - Stage 22B

Currently Described As

Part of Lot 1034 on SP328488 Locality:

Caboolture South Moreton Bay City

Legend:

Local Authority:

N

Finished Surface Contours (0.1m Interval) — — | 0 — — — Depth of Fill Contours (0.2m Interval)

- Easement Boundary

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled

RL57.32 Design Pad Level Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

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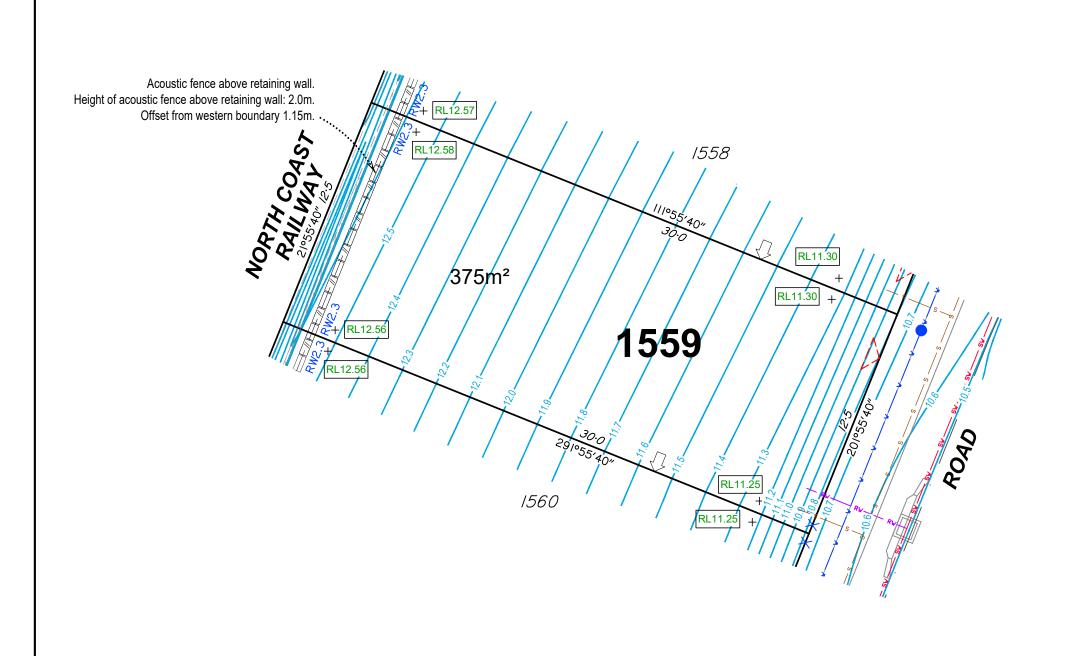
HORIZONTAL MERIDIAN MGA

LEVEL DATUM AHD.

DATE DRAWN 05-07-2024

Scale 1:200

DRAWING NO. SB3594-22B-01-1558



For Proposed Lot 1559 Riverbank - Stage 22B

Currently Described As

Part of Lot 1034 on SP328488 Locality:

Caboolture South Moreton Bay City

Legend:

Local Authority:

N

Finished Surface Contours (0.1m Interval) — — | 0 — — — Depth of Fill Contours (0.2m Interval)

- Easement Boundary

Sewer/Sewer Manhole Stormwater/Stormwater Manhole

Stormwater Gully Trap Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled RL57.32 Design Pad Level

Retaining Wall Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

- This note is an integral part of this plan.
 Finished surface contours, depth of fill contours, retaining
- wall details and proposed services provided by Egis on 31-05-2024.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
- 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision. 6. This plan has been prepared by Wolter Consulting Group Pty
- Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



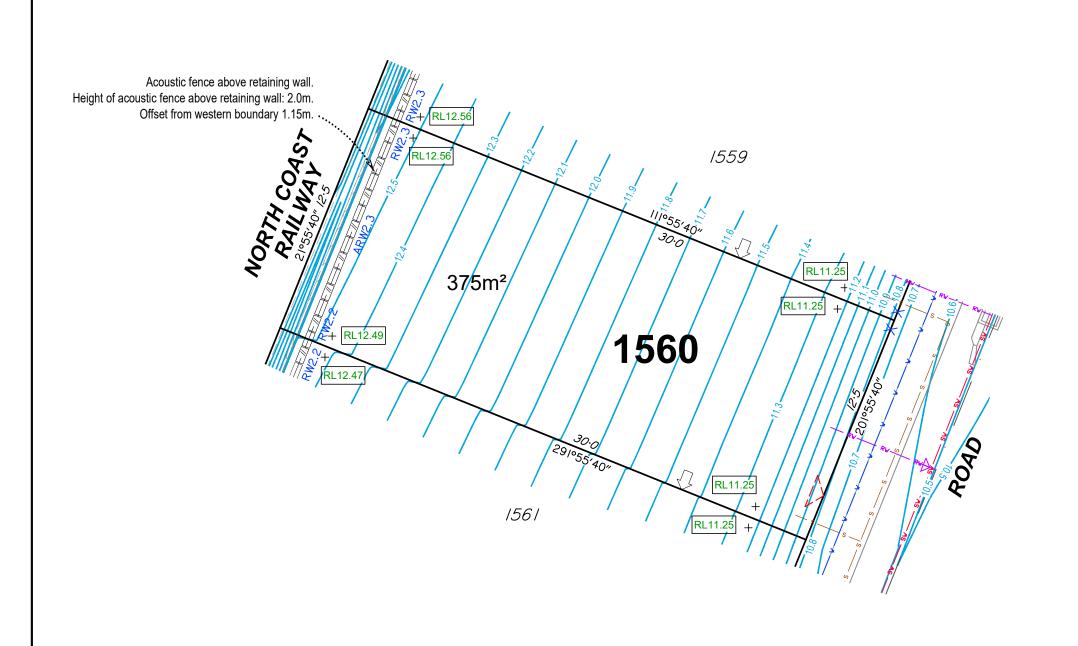
Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN MGA Scale 1:200

LEVEL DATUM AHD.

DATE DRAWN 05-07-2024

DRAWING NO. SB3594-22B-01-1559



For Proposed Lot 1560 Riverbank - Stage 22B

Currently Described As

Part of Lot 1034 on SP328488 Locality:

Caboolture South Local Authority: Moreton Bay City

Legend:

N

Finished Surface Contours (0.1m Interval) — — | 0 — — — Depth of Fill Contours (0.2m Interval)

- Easement Boundary

Sewer/Sewer Manhole

Stormwater Gully Trap

Stormwater/Stormwater Manhole

Water/Water Fitting

Roofwater/Kerb Adapter

RL57.32

Area to be Filled

Design Pad Level Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)



Zero Lot Line Boundary

Proposed Driveway

- 1. This note is an integral part of this plan.
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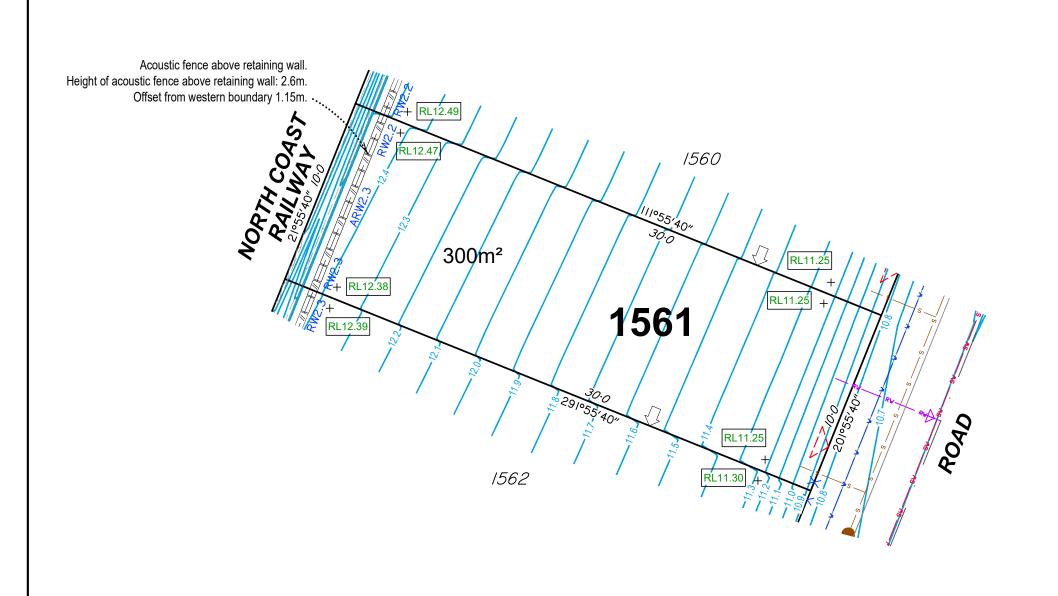
HORIZONTAL MERIDIAN MGA

> LEVEL DATUM AHD.

DATE DRAWN 05-07-2024

Scale 1:200

DRAWING NO. SB3594-22B-01-1560



For Proposed Lot 1561 Riverbank - Stage 22B

Currently Described As

Part of Lot 1034 on SP328488 Locality:

Caboolture South Moreton Bay City

Legend:

Local Authority:

N

Finished Surface Contours (0.1m Interval) — — | 0 — — — Depth of Fill Contours (0.2m Interval)

- Easement Boundary

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

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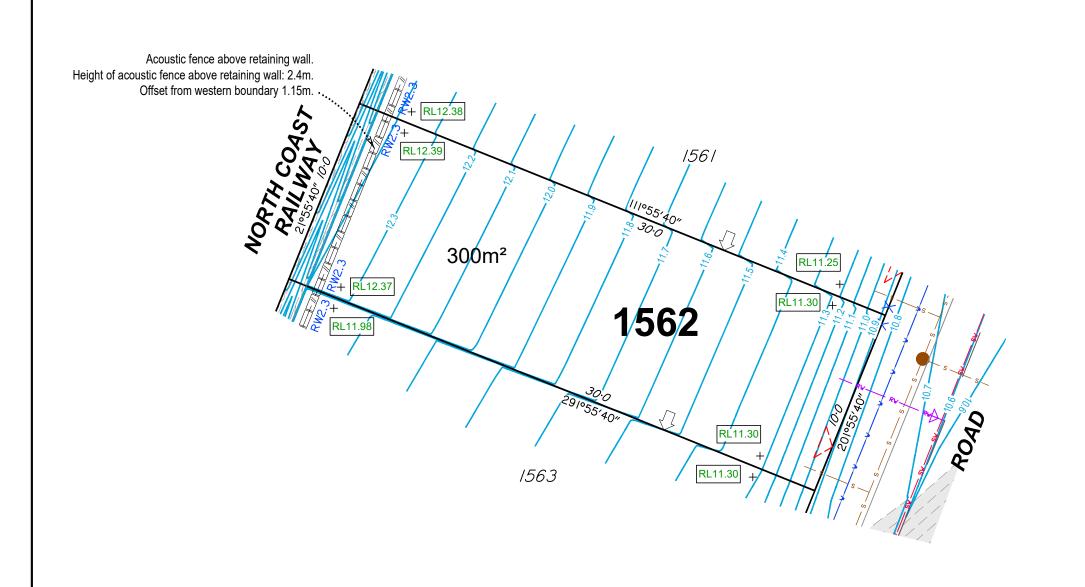
HORIZONTAL MERIDIAN MGA

Scale 1:200

LEVEL DATUM AHD.

DATE DRAWN 05-07-2024

DRAWING NO. SB3594-22B-01-1561



For Proposed Lot 1562 Riverbank - Stage 22B

Currently Described As

RPD: Part of Lot 1034 on SP328488 Locality: Caboolture South

Moreton Bay City

Legend:

Local Authority:

N

— 46.0 — Finished Surface Contours (0.1m Interval)

— 1.0 — — Depth of Fill Contours (0.2m Interval)

- . - .

— Easement Boundary

- Kerb Line

s Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Kerb Adapter

- v ----- Water/Water Fitting

Area to be Filled

RL57.32

Design Pad Level

Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

Note

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RIVERBANK



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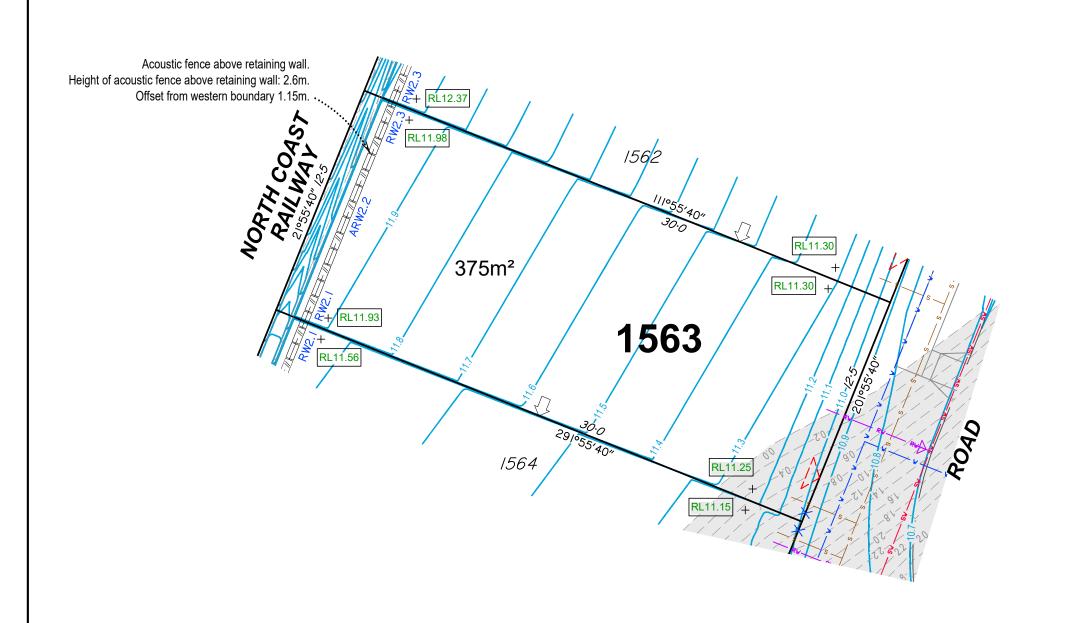
HORIZONTAL MERIDIAN MGA

> LEVEL DATUM AHD.

DATE DRAWN 05-07-2024

Scale 1:200

AWN DRAWING NO. 2024 SB3594-22B-01-1562



For Proposed Lot 1563 Riverbank - Stage 22B

Currently Described As

Part of Lot 1034 on SP328488 Locality:

Caboolture South Moreton Bay City

Legend:

Local Authority:

N

Finished Surface Contours (0.1m Interval)

- Easement Boundary

— — | 0 — — — Depth of Fill Contours (0.2m Interval)

Sewer/Sewer Manhole Stormwater/Stormwater Manhole

> Stormwater Gully Trap Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

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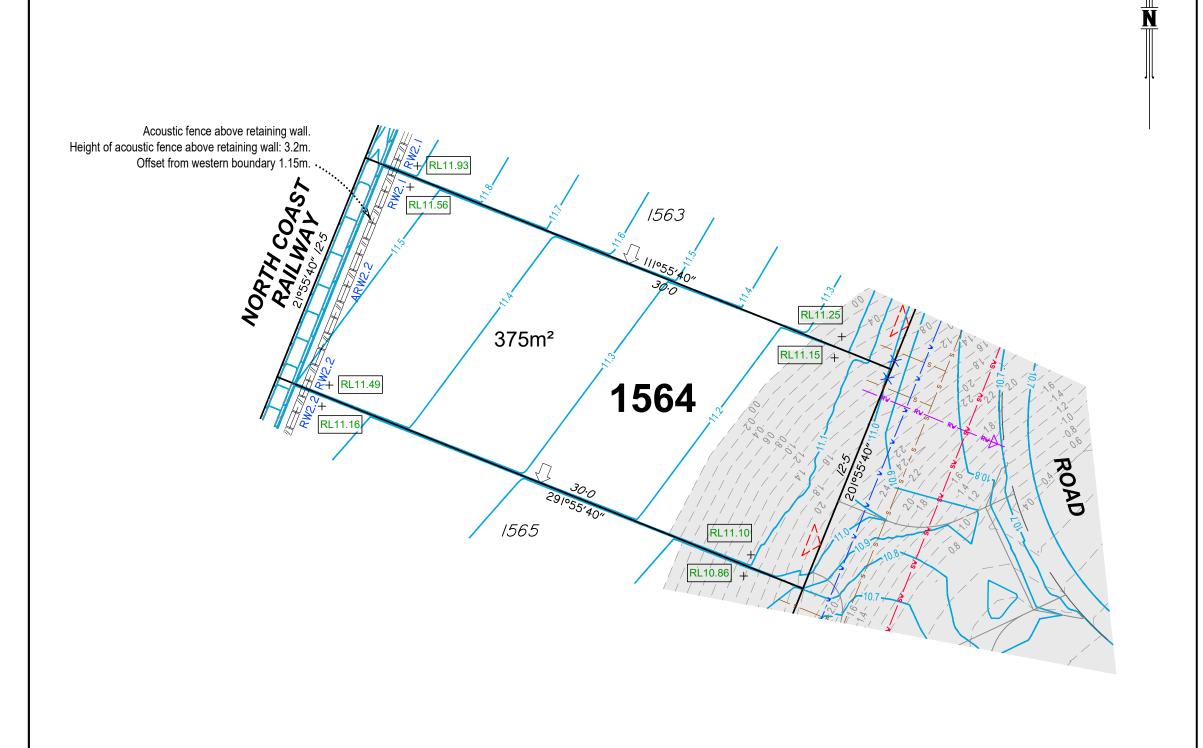
Planning Urban Design Landscape Environment Surveying HORIZONTAL MERIDIAN

MGA Scale 1:200

LEVEL DATUM AHD.

DATE DRAWN 05-07-2024

DRAWING NO. SB3594-22B-01-1563



For Proposed Lot 1564 Riverbank - Stage 22B

Currently Described As Locality:

Part of Lot 1034 on SP328488

Caboolture South Moreton Bay City

Legend: **- 46.0**

Local Authority:

Finished Surface Contours (0.1m Interval) — — | 0 — — — Depth of Fill Contours (0.2m Interval)

Easement Boundary

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter Water/Water Fitting

Area to be Filled RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

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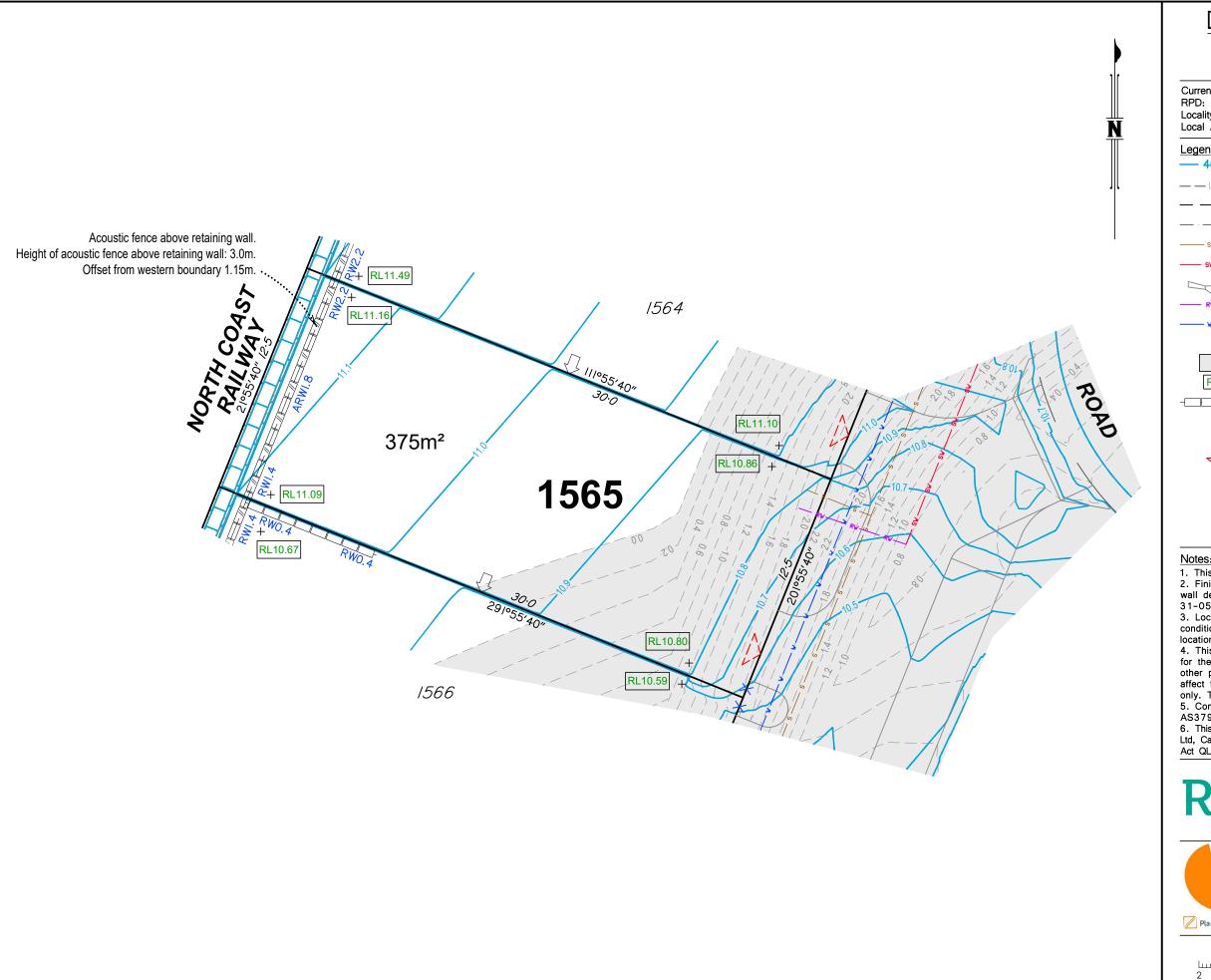
HORIZONTAL MERIDIAN MGA

LEVEL DATUM AHD.

DATE DRAWN 05-07-2024

Scale 1:200

DRAWING NO. SB3594-22B-01-1564



For Proposed Lot 1565 Riverbank - Stage 22B

Currently Described As Part of Lot 1034 on SP328488 Caboolture South Locality: Local Authority: Moreton Bay City Legend: Finished Surface Contours (0.1m Interval) — — | 0 — — — Depth of Fill Contours (0.2m Interval) Easement Boundary Sewer/Sewer Manhole Stormwater/Stormwater Manhole Stormwater Gully Trap Roofwater/Kerb Adapter Water/Water Fitting Area to be Filled RL57.32 Design Pad Level Retaining Wall Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

- This note is an integral part of this plan.
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- wall details and proposed services provided by Egis on 31-05-2024.

Proposed Driveway

Zero Lot Line Boundary

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SB3594-22B-01-1565

05-07-2024

