


# DISCLOSURE PLAN

For Proposed Lot 1529  
Riverbank - Stage 22B

Currently Described As  
RPD: Part of Lot 1034 on SP328488  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - rv — rv — Roofwater/Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - ▾ Proposed Driveway
  - ← Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
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  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



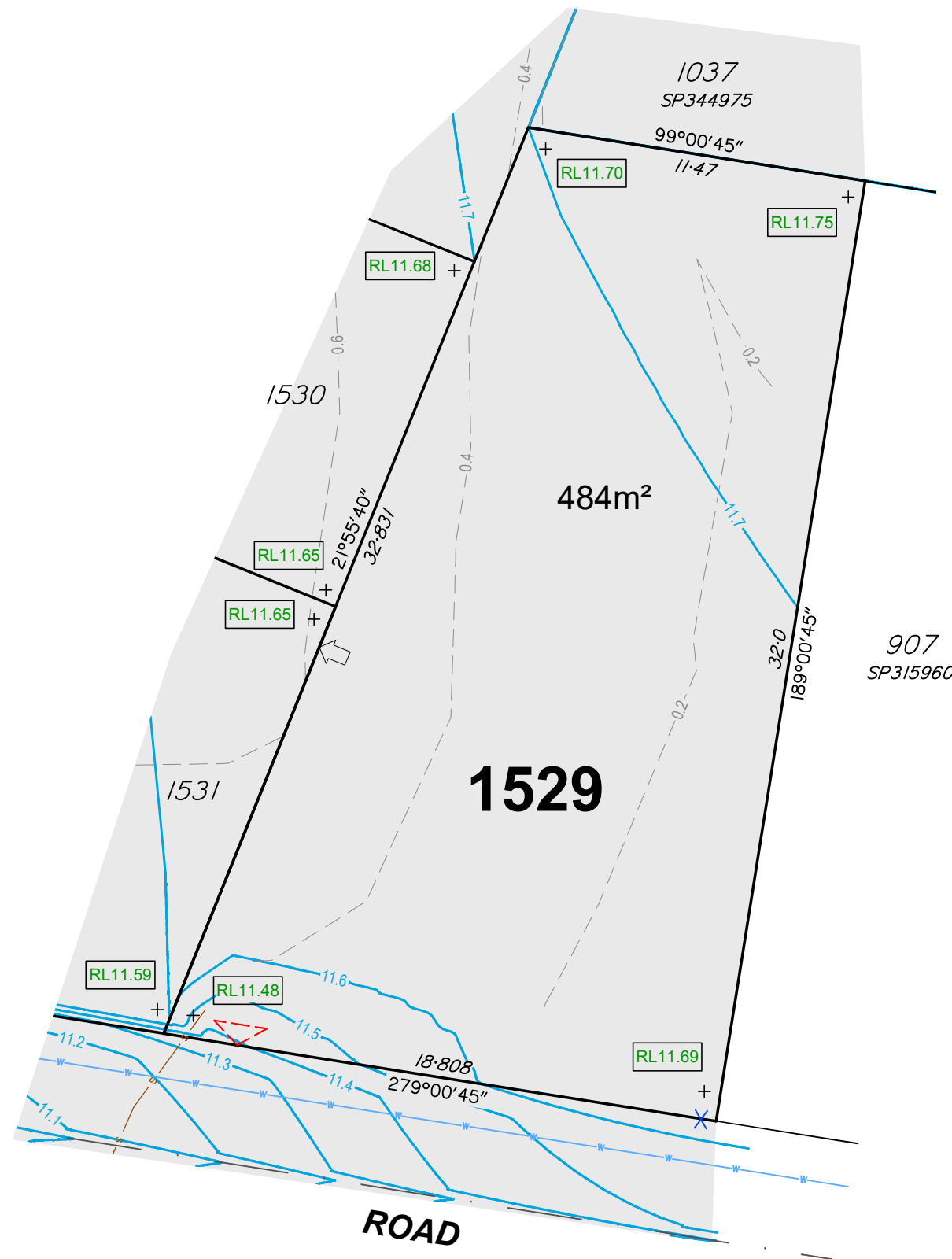
■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.


DATE DRAWN 05-07-2024      DRAWING NO. SB3594-22B-01-1529      VERSION B

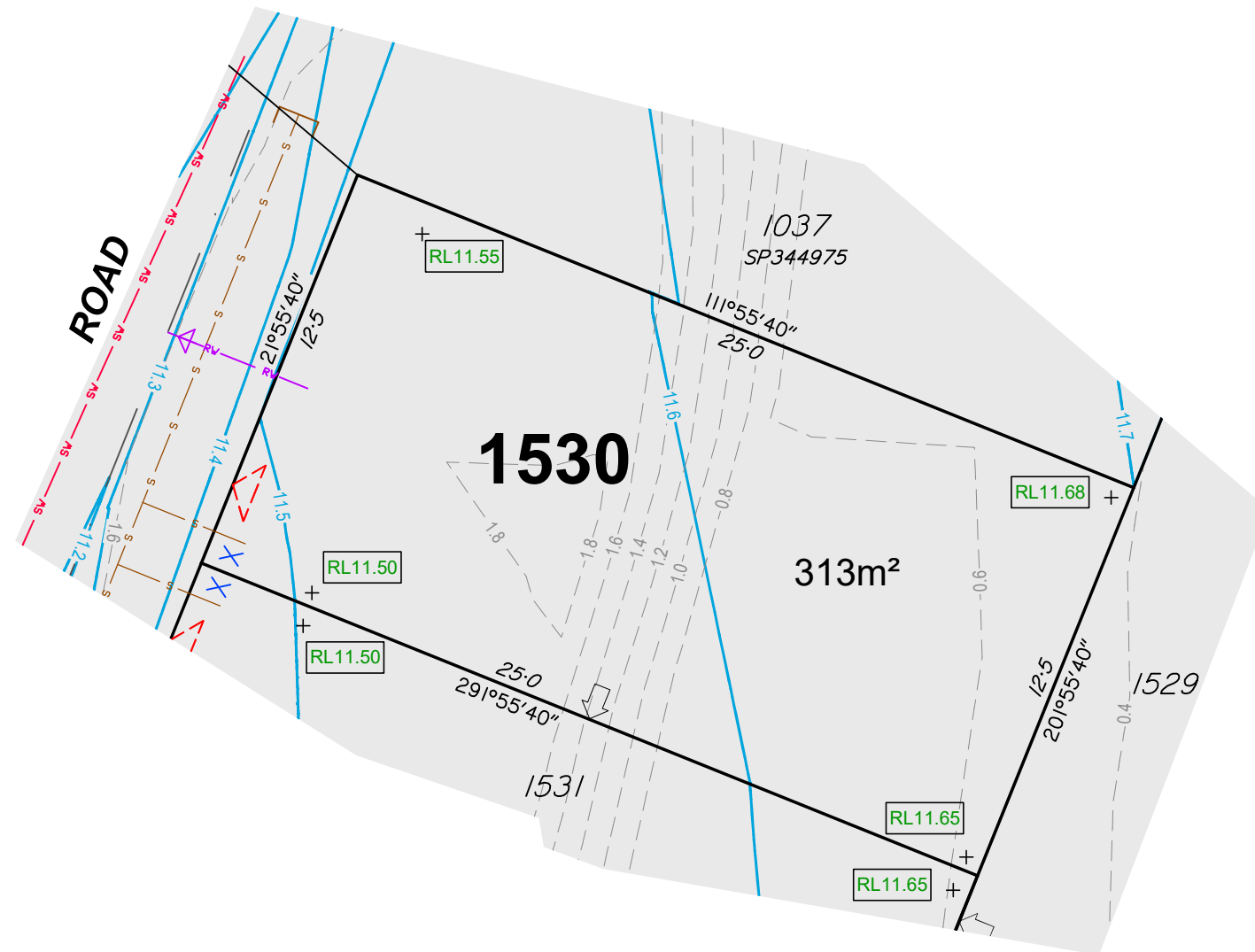


# DISCLOSURE PLAN

For Proposed Lot 1530  
Riverbank - Stage 22B

Currently Described As  
RPD: Part of Lot 1034 on SP328488  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - rv — rv — Roofwater/Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - ▾ Proposed Driveway
  - ← Zero Lot Line Boundary



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  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

## RIVERBANK



■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

  
 Scale 1:200 @A3


LEVEL DATUM  
AHD.

DATE DRAWN 05-07-2024      DRAWING NO. SB3594-22B-01-1530      VERSION B

# DISCLOSURE PLAN

For Proposed Lot 1531  
Riverbank - Stage 22B

Currently Described As  
RPD: Part of Lot 1034 on SP328488  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - rv — rv — Roofwater/Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowside of the wall)
  - <img alt="Proposed Driveway symbol" data-bbox="790 440 815 455"/> Proposed Driveway
  - ← Zero Lot Line Boundary

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# RIVERBANK



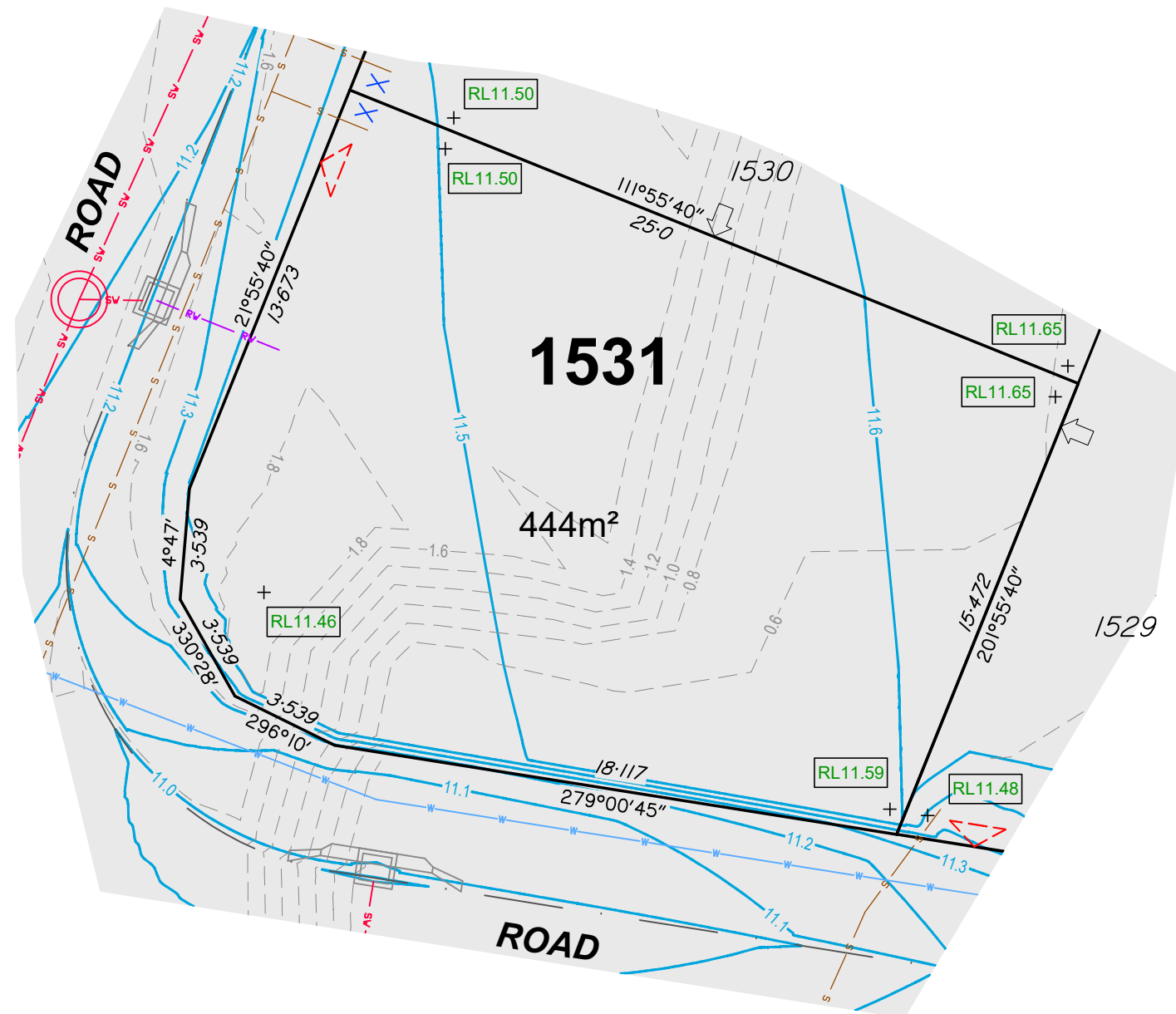
■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.


DATE DRAWN 05-07-2024      DRAWING NO. SB3594-22B-01-1531      VERSION B



# DISCLOSURE PLAN

For Proposed Lot 1532  
Riverbank - Stage 22B

Currently Described As  
RPD: Part of Lot 1034 on SP328488  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
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  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - rv — rv — Roofwater/Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - ▾ Proposed Driveway
  - ← Zero Lot Line Boundary

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## RIVERBANK



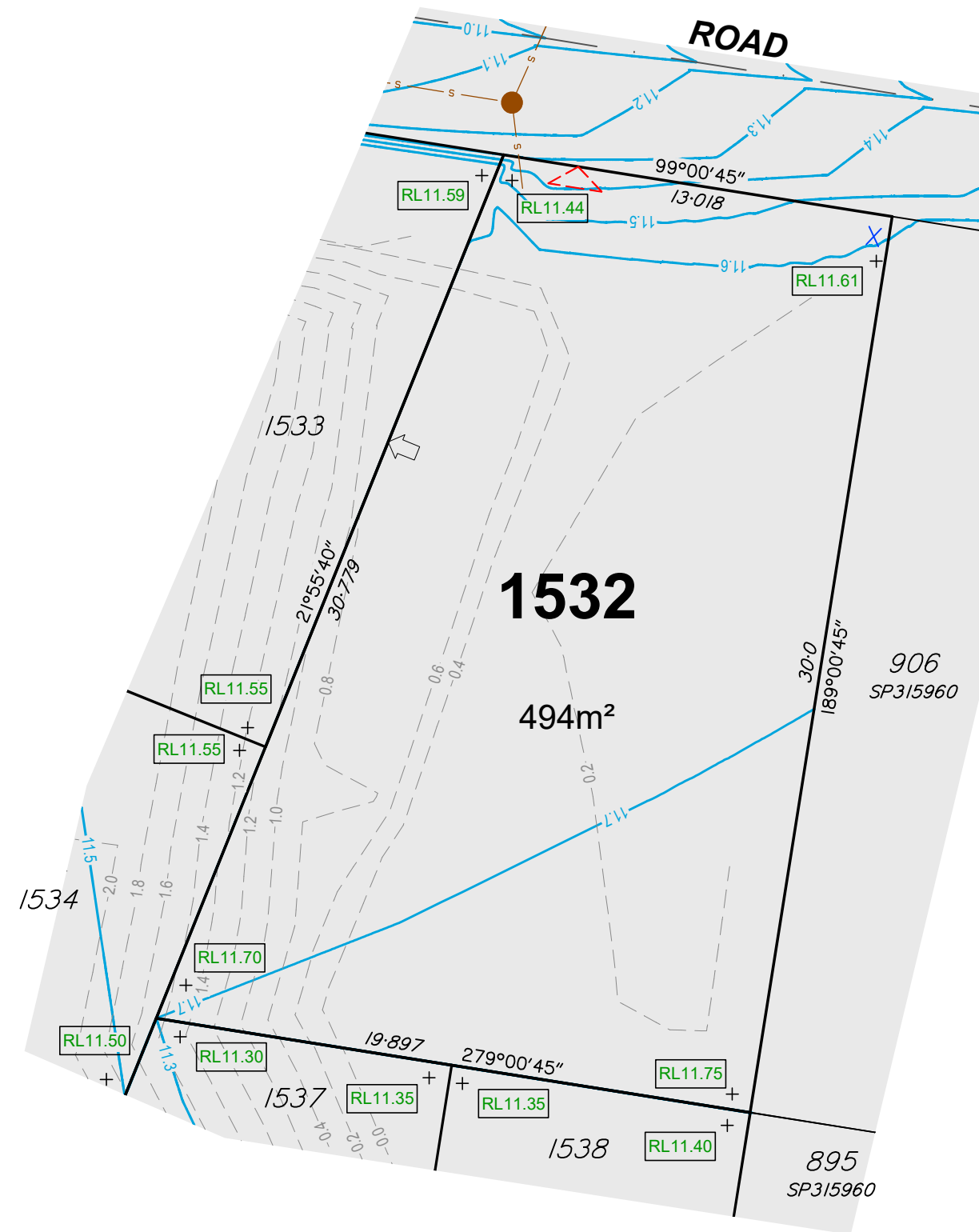
▣ Planning 
 ▣ Urban Design 
 ▣ Landscape 
 ▣ Environment 
 ▣ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.


DATE DRAWN 05-07-2024      DRAWING NO. SB3594-22B-01-1532      VERSION B

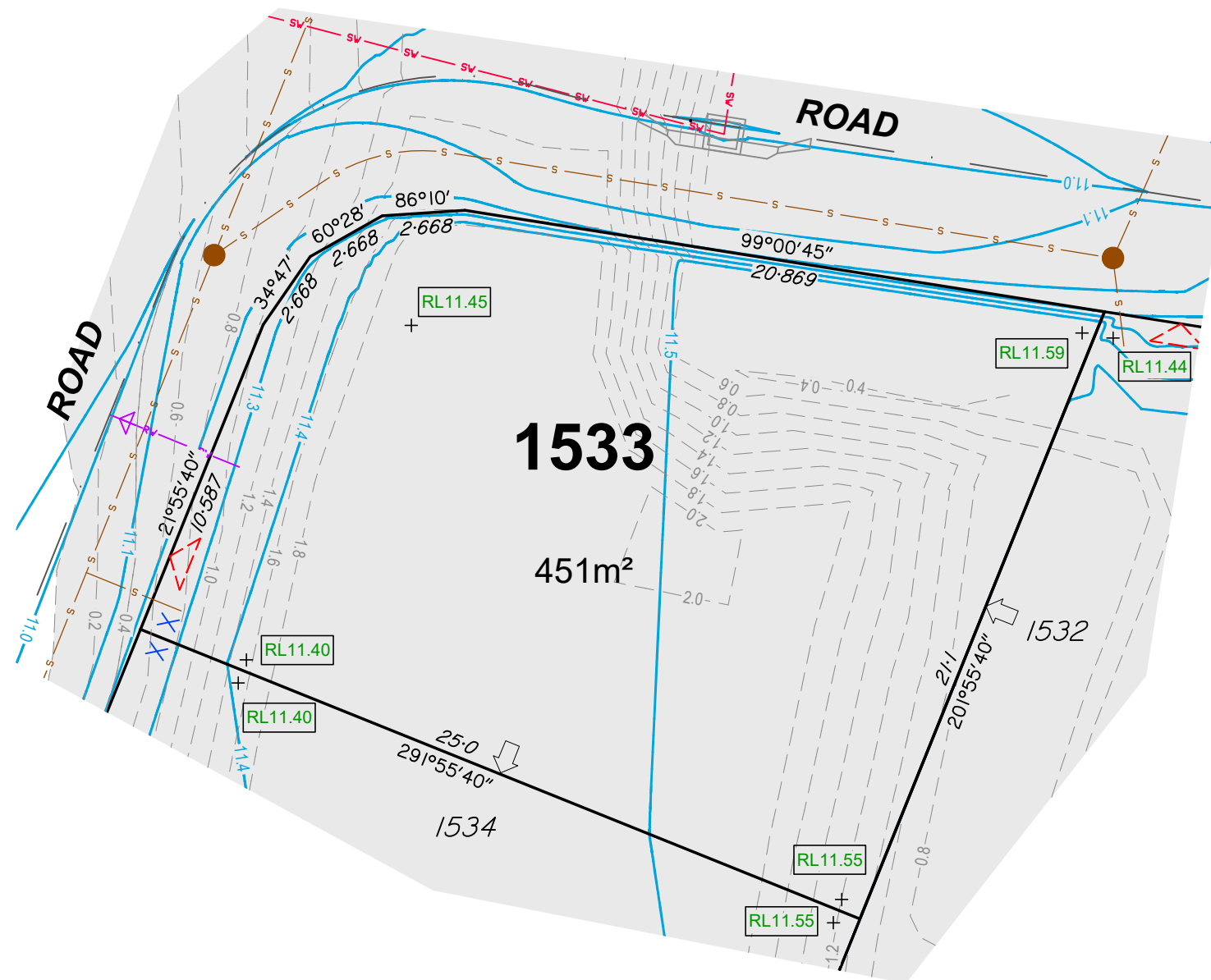


# DISCLOSURE PLAN

For Proposed Lot 1533  
Riverbank - Stage 22B

Currently Described As  
RPD: Part of Lot 1034 on SP328488  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - rv — rv — Roofwater/Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - RL57.32 Area to be Filled
  - RL11.45 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - < Proposed Driveway
  - ← Zero Lot Line Boundary



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## RIVERBANK



■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 05-07-2024 DRAWING NO. SB3594-22B-01-1533 VERSION B

# DISCLOSURE PLAN

For Proposed Lot 1534  
Riverbank - Stage 22B

Currently Described As  
RPD: Part of Lot 1034 on SP328488  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - Easement Boundary
  - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - rv — rv — Roofwater/Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - ▾ Proposed Driveway
  - ← Zero Lot Line Boundary

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# RIVERBANK



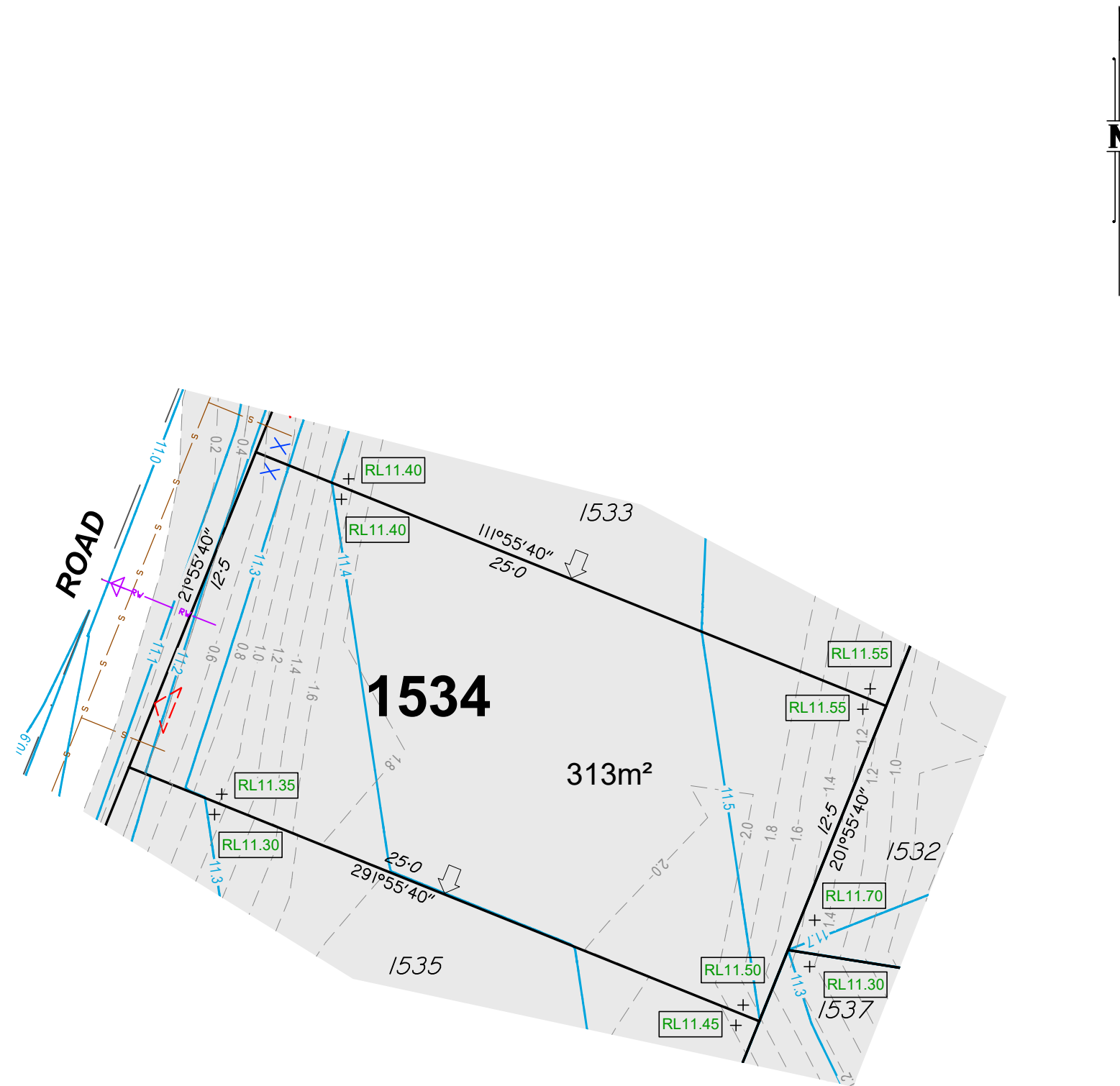
■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 05-07-2024      DRAWING NO. SB3594-22B-01-1534      VERSION B



# DISCLOSURE PLAN

For Proposed Lot 1535  
Riverbank - Stage 22B

Currently Described As  
RPD: Part of Lot 1034 on SP328488  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - Easement Boundary
  - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - rv — rv — Roofwater/Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height  
(Retaining Wall Heights shown on the  
underside of the wall)
  - ▾ Proposed Driveway
  - ← Zero Lot Line Boundary

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## RIVERBANK



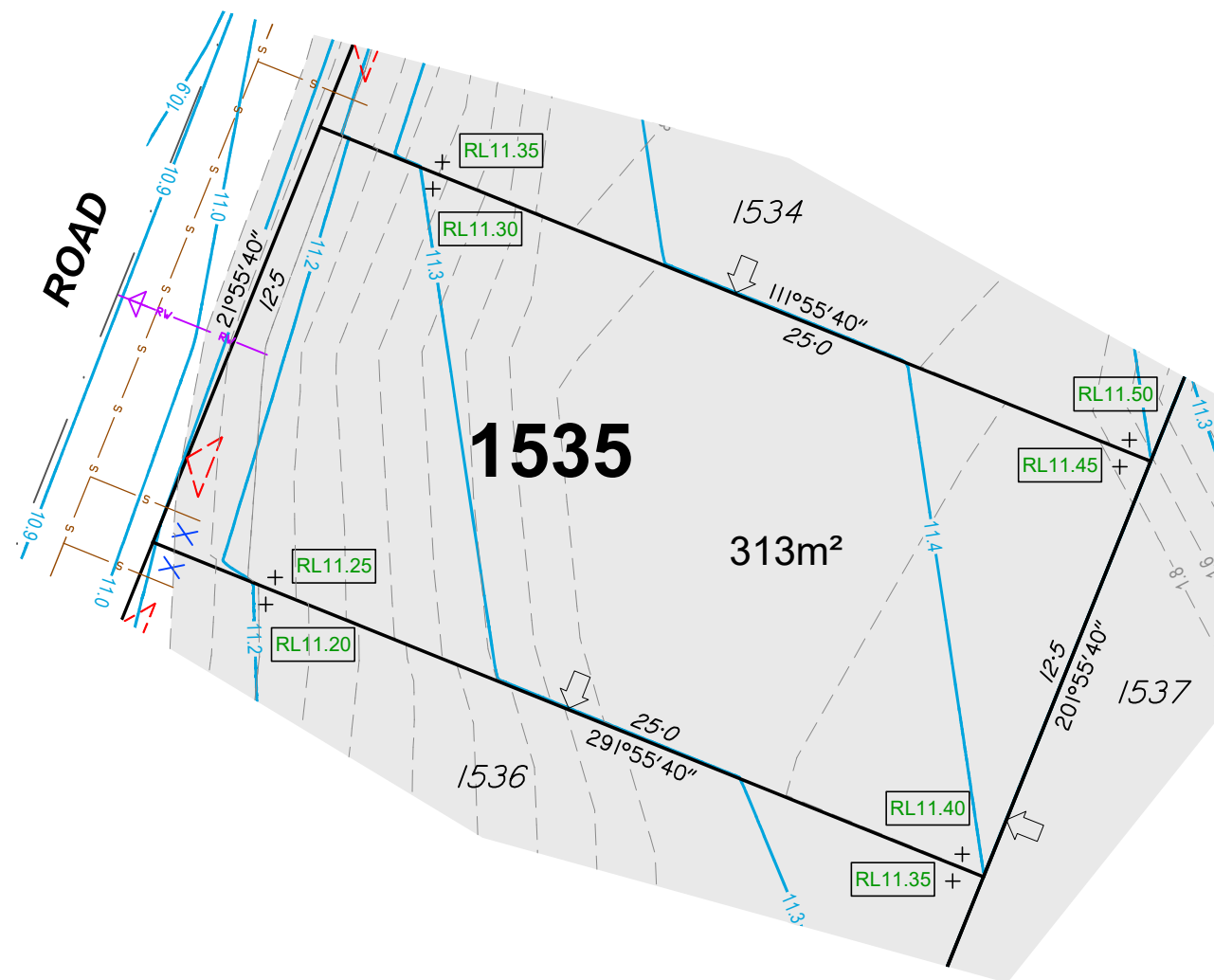
■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

LEVEL DATUM  
AHD.

2 0 2 4  
 Scale 1:200 @A3


DATE DRAWN 05-07-2024      DRAWING NO. SB3594-22B-01-1535      VERSION B

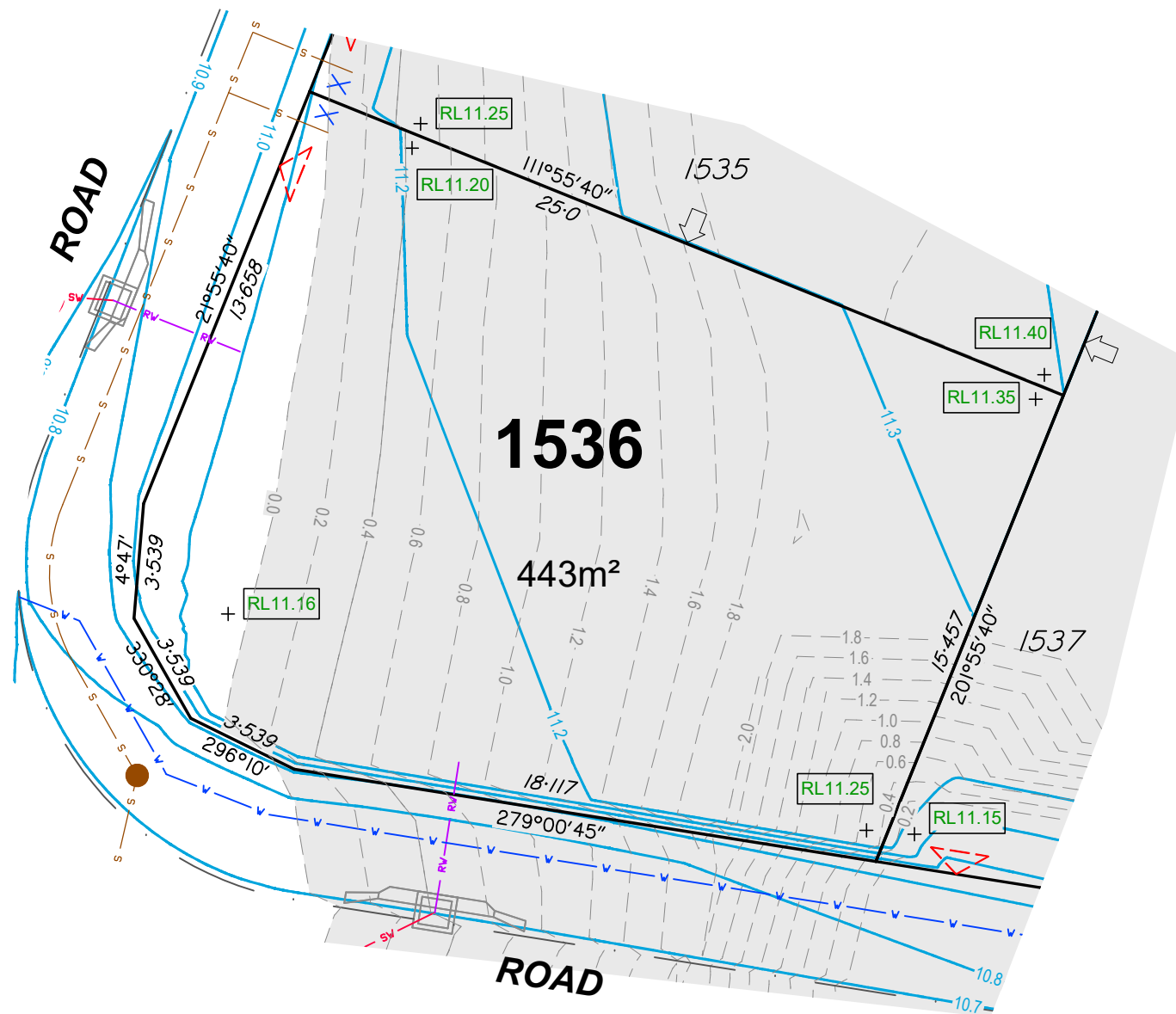


# DISCLOSURE PLAN

For Proposed Lot 1536  
Riverbank - Stage 22B

Currently Described As  
RPD: Part of Lot 1034 on SP328488  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - rv — rv — Roofwater/Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - <img alt="Proposed Driveway symbol" data-bbox="790 440 815 455"/> Proposed Driveway
  - ← Zero Lot Line Boundary



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## RIVERBANK



■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 05-07-2024 DRAWING NO. SB3594-22B-01-1536 VERSION B



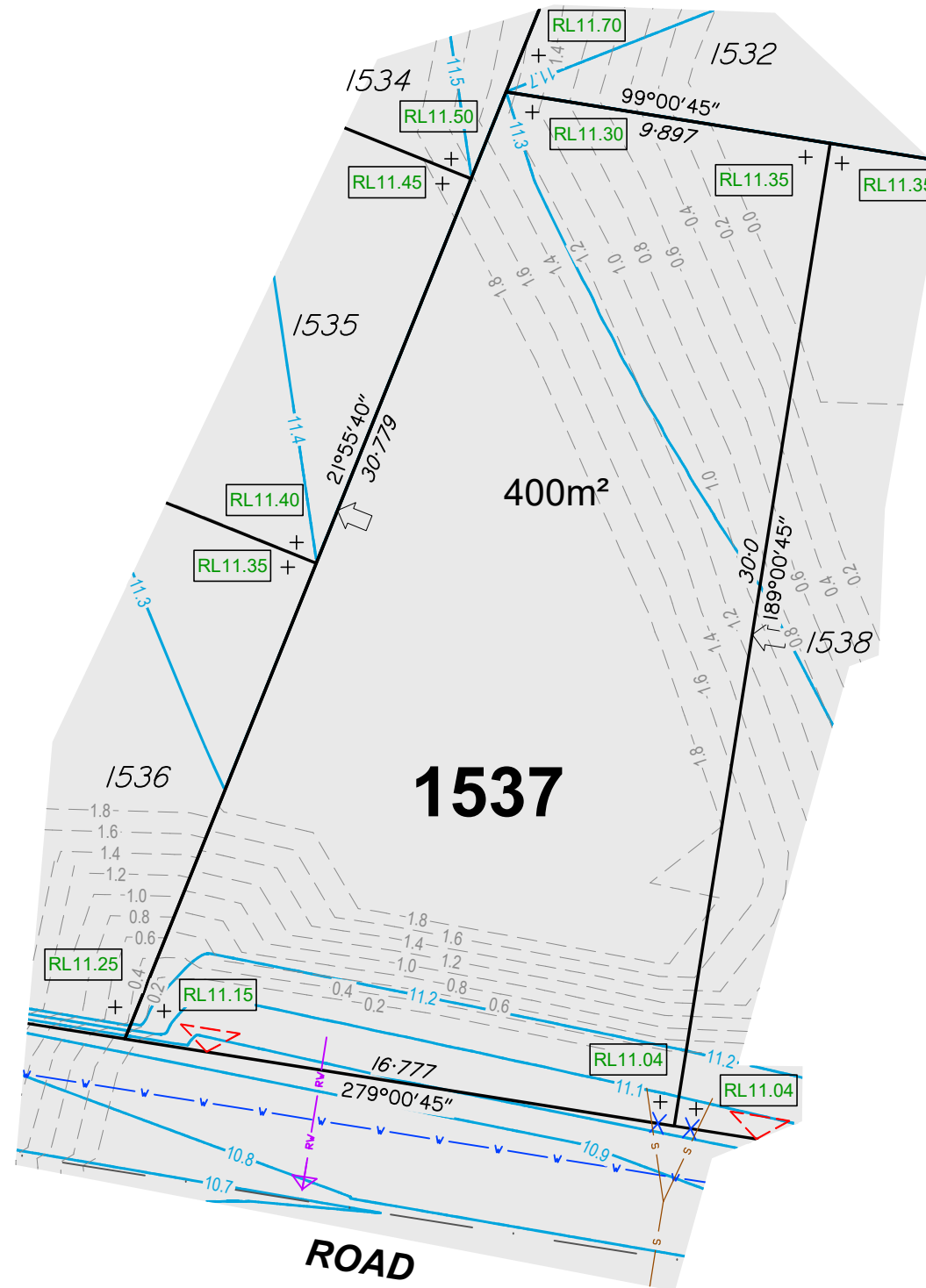
# DISCLOSURE PLAN

For Proposed Lot 1537  
Riverbank - Stage 22B

Currently Described As  
RPD: Part of Lot 1034 on SP328488  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
  - 1.0 Depth of Fill Contours (0.2m Interval)
  - Easement Boundary
  - Kerb Line
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - Roofwater/Kerb Adapter
  - Water/Water Fitting
  - Water Meter
  - Area to be Filled
  - Design Pad Level
  - Retaining Wall
  - Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary

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# RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN MGA  
Scale 1:200 @A3  
LEVEL DATUM AHD.

DATE DRAWN 05-07-2024 DRAWING NO. SB3594-22B-01-1537 VERSION B

# DISCLOSURE PLAN

For Proposed Lot 1538  
Riverbank - Stage 22B

Currently Described As  
RPD: Part of Lot 1034 on SP328488  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - Easement Boundary
  - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - rv — rv — Roofwater/Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - RL57.32 Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - ▾ Proposed Driveway
  - ← Zero Lot Line Boundary

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# RIVERBANK



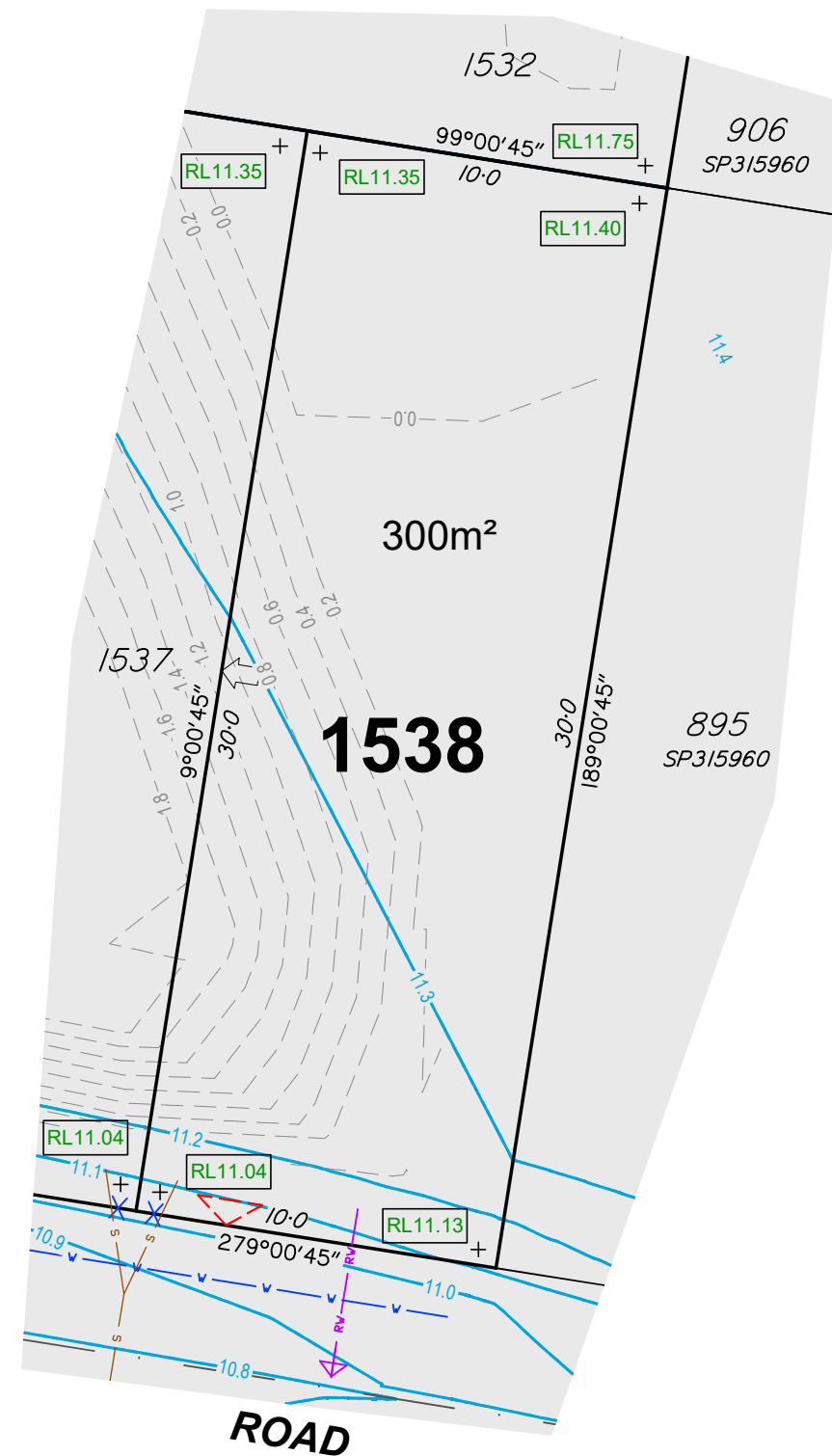
■ Planning 
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 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 05-07-2024      DRAWING NO. SB3594-22B-01-1538      VERSION B

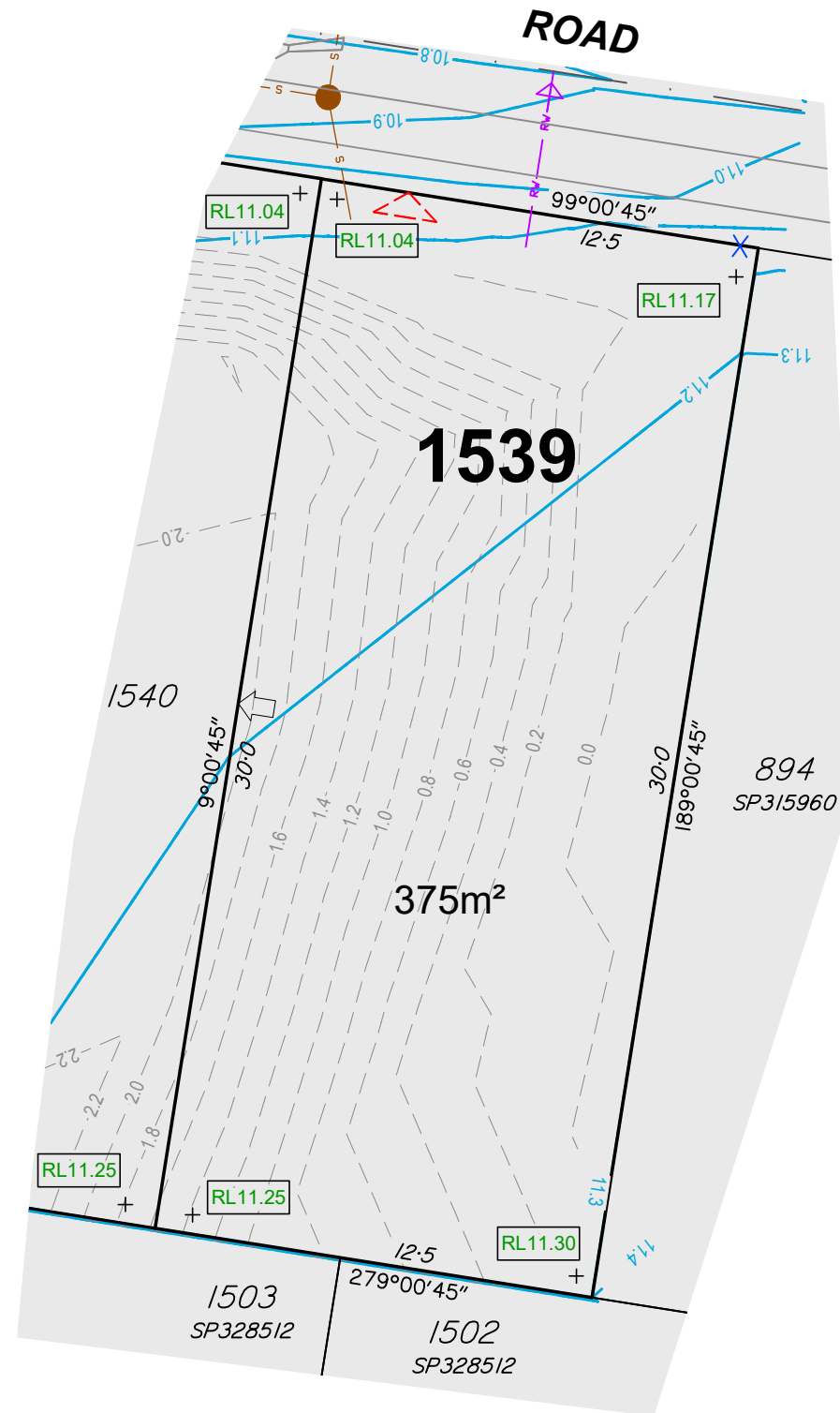


# DISCLOSURE PLAN

For Proposed Lot 1539  
Riverbank - Stage 22B

Currently Described As  
RPD: Part of Lot 1034 on SP328488  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
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  - 1.0 Depth of Fill Contours (0.2m Interval)
  - Easement Boundary
  - Kerb Line
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - Roofwater/Kerb Adapter
  - Water/Water Fitting
  - Water Meter
  - Area to be Filled
  - Design Pad Level
  - Retaining Wall
  - Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary



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# RIVERBANK



Planning Urban Design Landscape Environment Surveying




HORIZONTAL MERIDIAN  
MGA  
Scale 1:200 @A3  
LEVEL DATUM  
AHD.

DATE DRAWN 05-07-2024  
DRAWING NO. SB3594-22B-01-1539  
VERSION B

# DISCLOSURE PLAN

For Proposed Lot 1540  
Riverbank - Stage 22B

Currently Described As  
RPD: Part of Lot 1034 on SP328488  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
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  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - - - Easement Boundary
  - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - rv — rv — Roofwater/Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  -  Proposed Driveway
  -  Zero Lot Line Boundary

- Notes:**
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  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



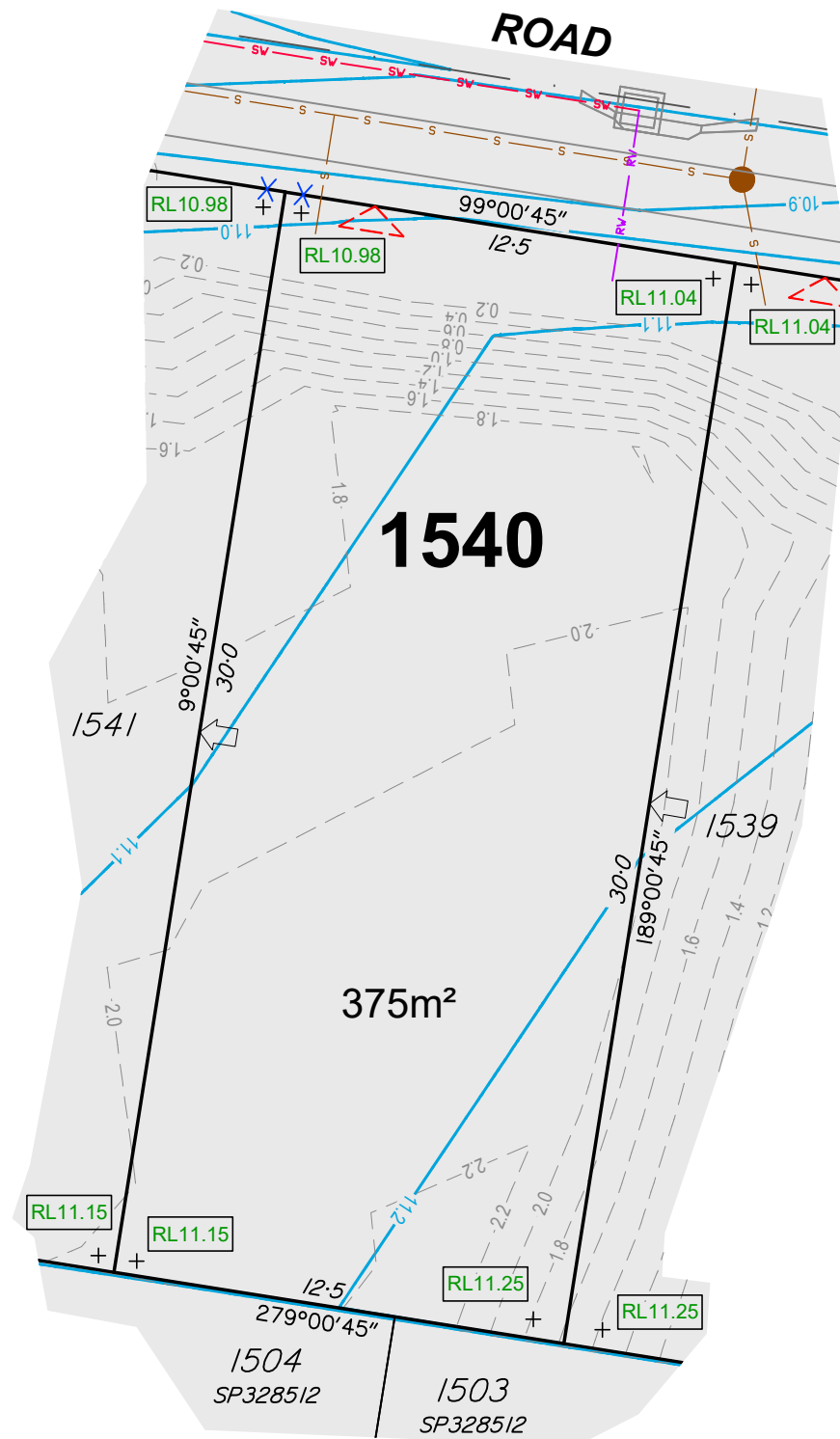
■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.





DATE DRAWN 05-07-2024      DRAWING NO. SB3594-22B-01-1540      VERSION B



# DISCLOSURE PLAN

For Proposed Lot 1541  
Riverbank - Stage 22B

Currently Described As  
RPD: Part of Lot 1034 on SP328488  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - rv — rv — Roofwater/Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  -  Retaining Wall
  - RW Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  -  Proposed Driveway
  -  Zero Lot Line Boundary

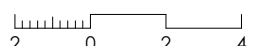
- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



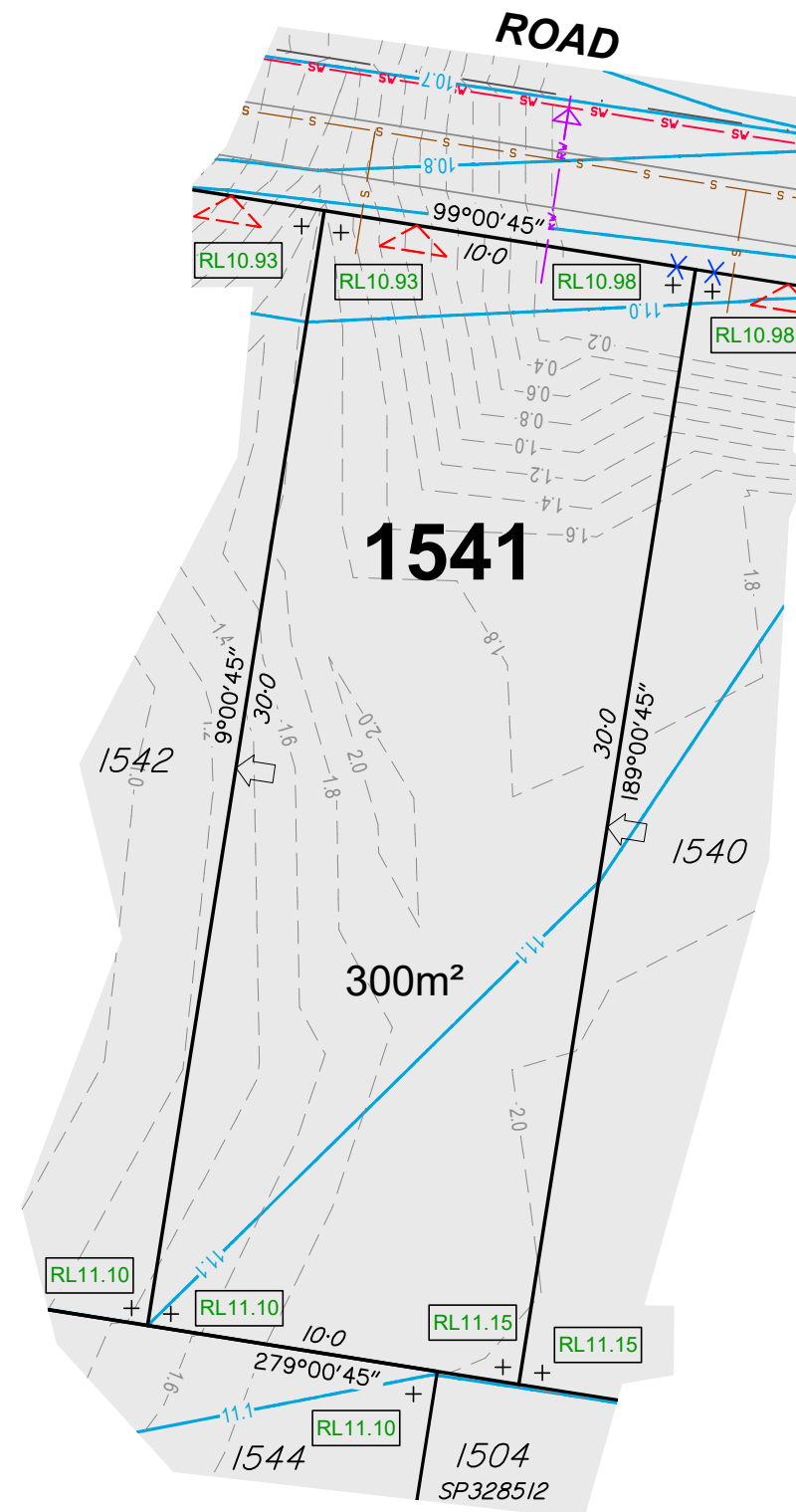
■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

  
 Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 05-07-2024      DRAWING NO. SB3594-22B-01-1541      VERSION B

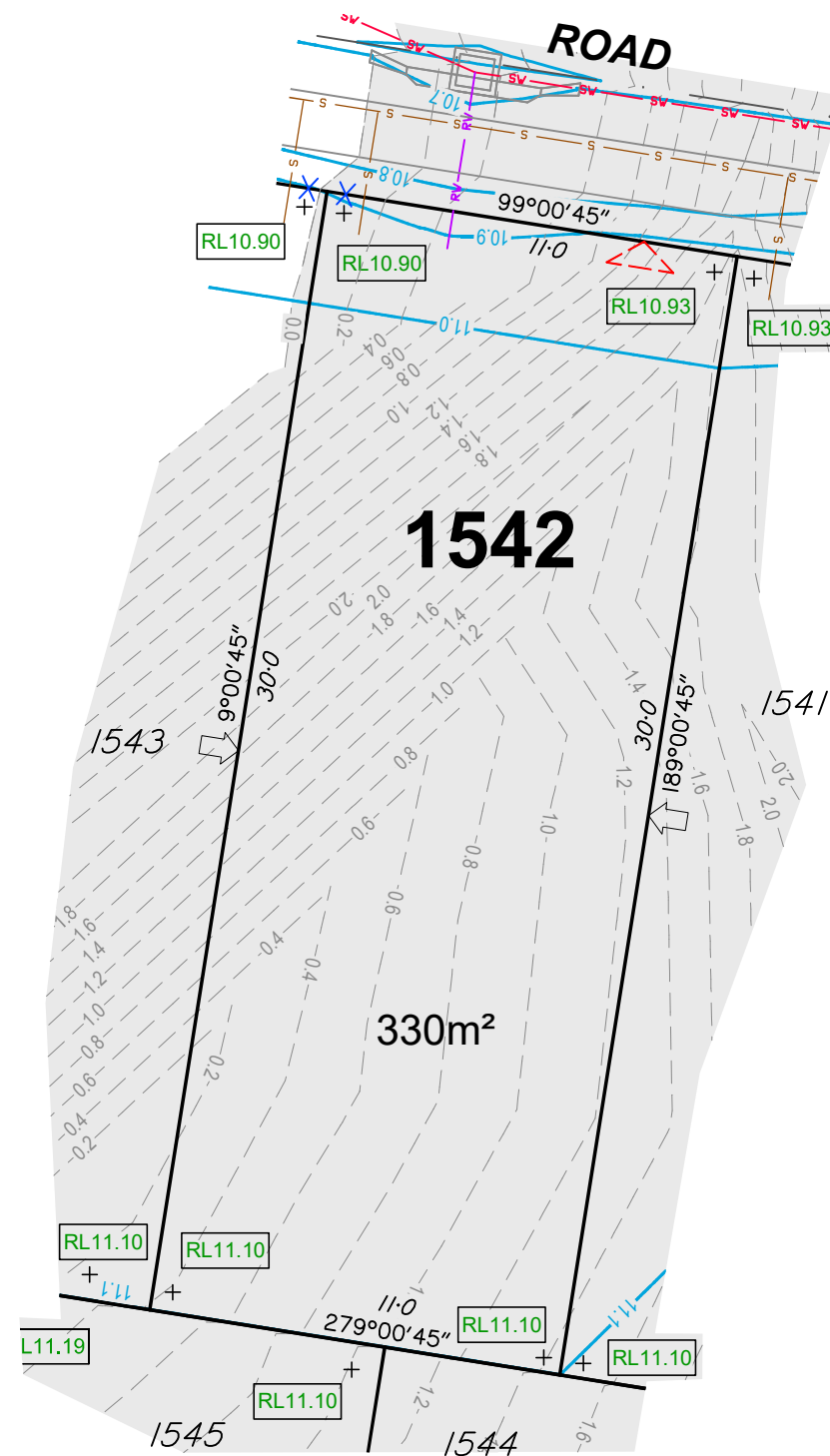


# DISCLOSURE PLAN

For Proposed Lot 1542  
Riverbank - Stage 22B

Currently Described As  
RPD: Part of Lot 1034 on SP328488  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
  - 1.0 Depth of Fill Contours (0.2m Interval)
  - Easement Boundary
  - Kerb Line
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - Roofwater/Kerb Adapter
  - Water/Water Fitting
  - Water Meter
  - Area to be Filled
  - Design Pad Level
  - Retaining Wall
  - Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary



- Notes:**
- This note is an integral part of this plan.
  - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
  - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  - This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  - Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  - This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3


LEVEL DATUM  
AHD.

DATE DRAWN 05-07-2024 DRAWING NO. SB3594-22B-01-1542 VERSION B

# DISCLOSURE PLAN

For Proposed Lot 1543  
Riverbank - Stage 22B

Currently Described As  
RPD: Part of Lot 1034 on SP328488  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sw — sw — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - rv — rv — Roofwater/Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - <img alt="Proposed Driveway symbol" data-bbox="790 440 815 455"/> Proposed Driveway
  - ← Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

## RIVERBANK



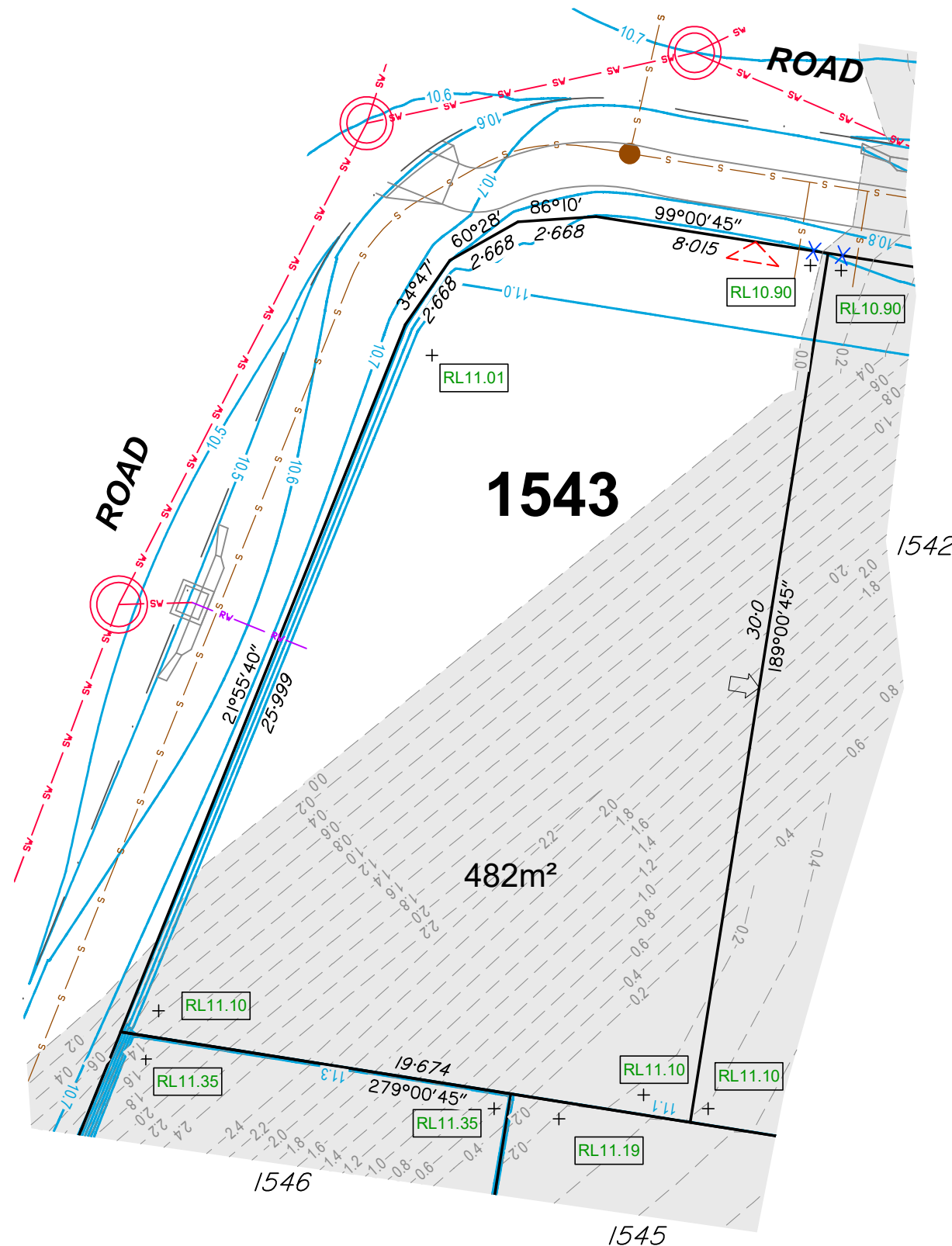
■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.





DATE DRAWN 05-07-2024      DRAWING NO. SB3594-22B-01-1543      VERSION B



# DISCLOSURE PLAN

For Proposed Lot 1544  
Riverbank - Stage 22B

Currently Described As  
RPD: Part of Lot 1034 on SP328488  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - rv — rv — Roofwater/Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  -  Retaining Wall
  - RW Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  -  Proposed Driveway
  -  Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



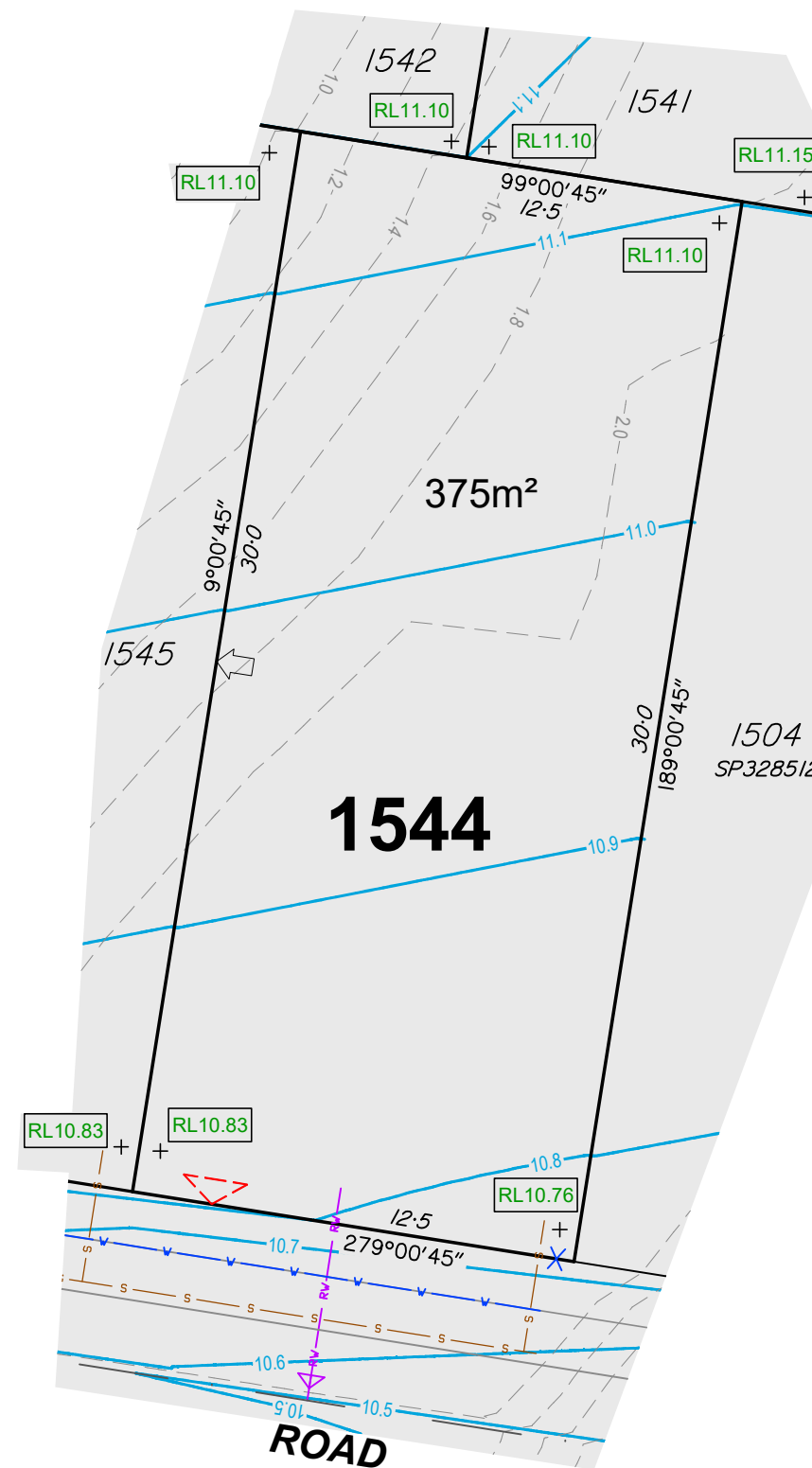
■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 05-07-2024 DRAWING NO. SB3594-22B-01-1544 VERSION B





# DISCLOSURE PLAN

For Proposed Lot 1545  
Riverbank - Stage 22B

Currently Described As  
RPD: Part of Lot 1034 on SP328488  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - Easement Boundary
  - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - RV — RV — Roofwater/Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - RL57.32 Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - > Proposed Driveway
  - ← Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



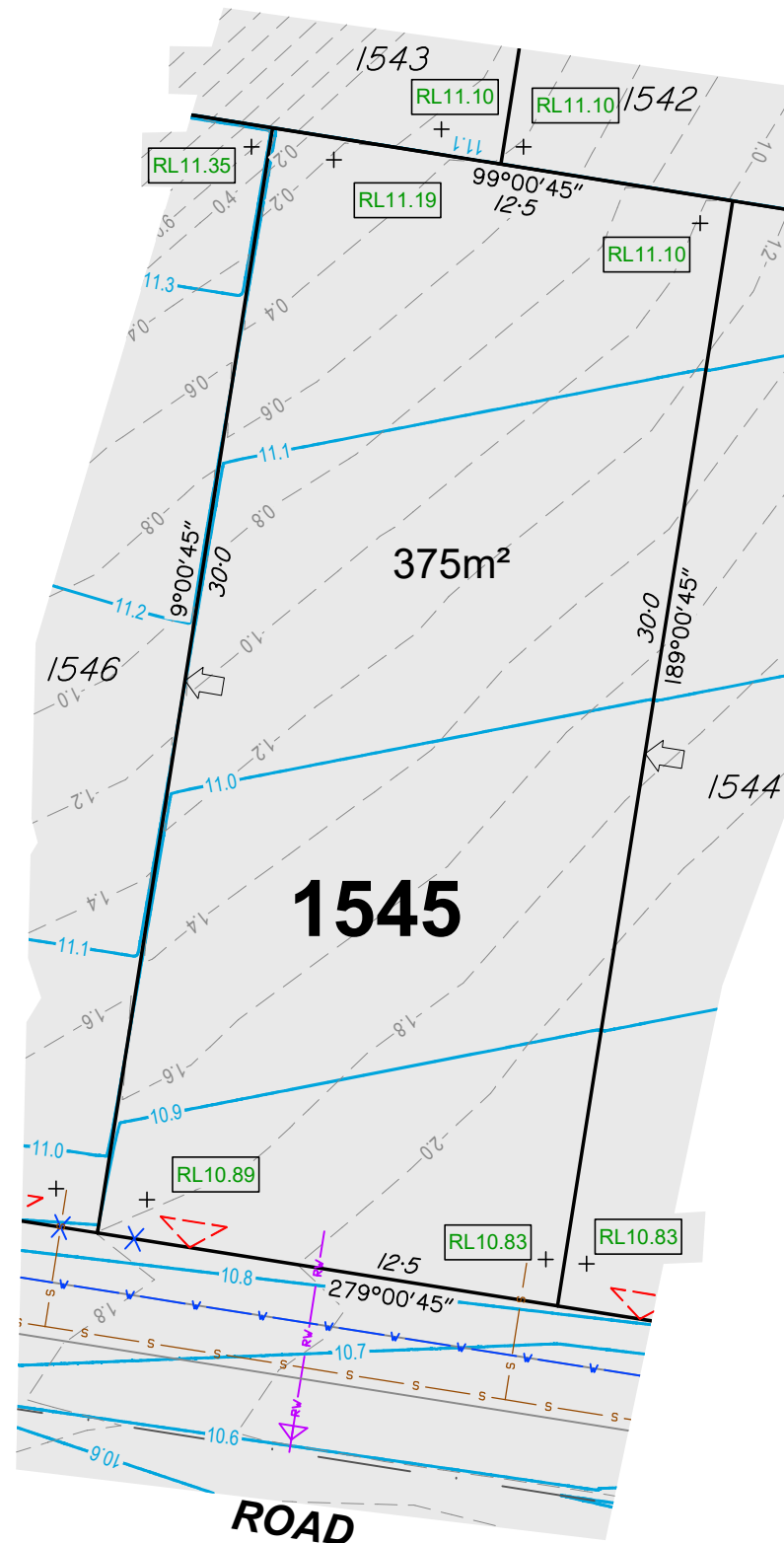
■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.


DATE DRAWN 05-07-2024      DRAWING NO. SB3594-22B-01-1545      VERSION B



# DISCLOSURE PLAN

For Proposed Lot 1546  
Riverbank - Stage 22B

Currently Described As  
RPD: Part of Lot 1034 on SP328488  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - rv — rv — Roofwater/Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowside of the wall)
  - ▾ Proposed Driveway
  - ← Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



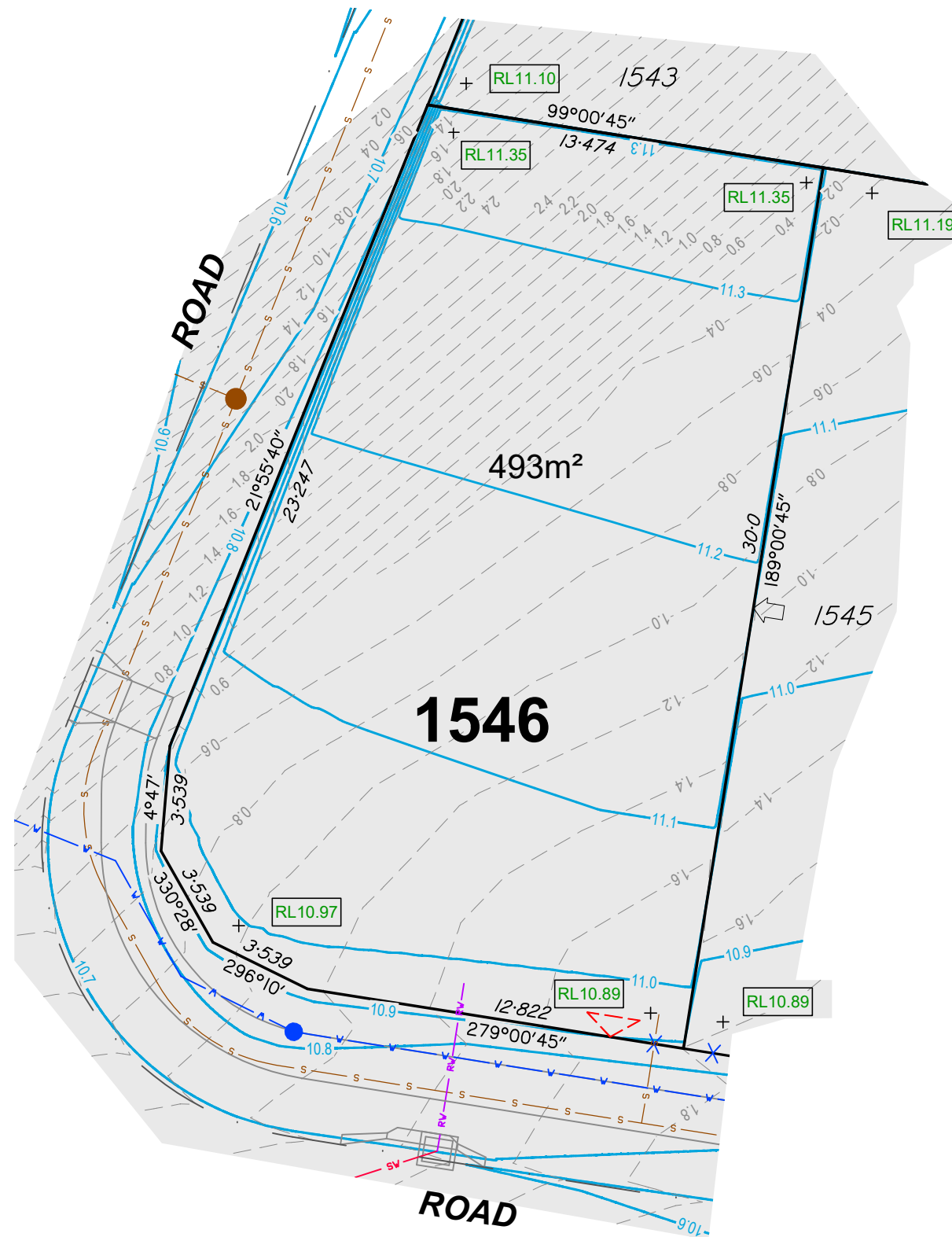
■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.


DATE DRAWN 05-07-2024      DRAWING NO. SB3594-22B-01-1546      VERSION B



# DISCLOSURE PLAN

For Proposed Lot 1547  
Riverbank - Stage 22B

Currently Described As  
RPD: Part of Lot 1034 on SP328488  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - rv — rv — Roofwater/Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowside of the wall)
  - < Proposed Driveway
  - ← Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

## RIVERBANK



■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

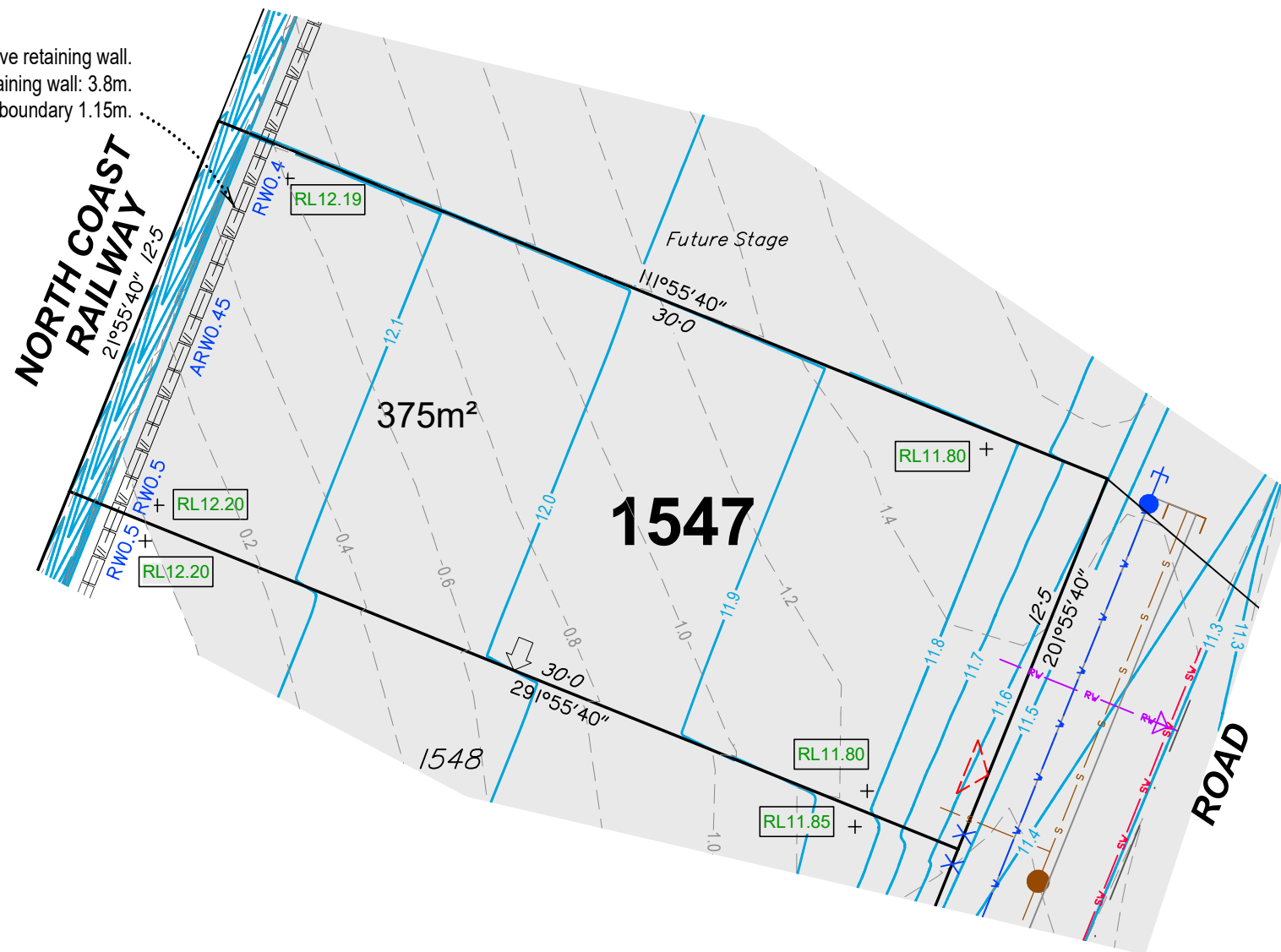
HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 05-07-2024  
DRAWING NO. SB3594-22B-01-1547  
VERSION B


Acoustic fence above retaining wall.  
Height of acoustic fence above retaining wall: 3.8m.  
Offset from western boundary 1.15m.



# DISCLOSURE PLAN

For Proposed Lot 1548  
Riverbank - Stage 22B

Currently Described As  
RPD: Part of Lot 1034 on SP328488  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - rv — rv — Roofwater/Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - RL57.32 Area to be Filled
  - RL11.80 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - < Proposed Driveway
  - ← Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

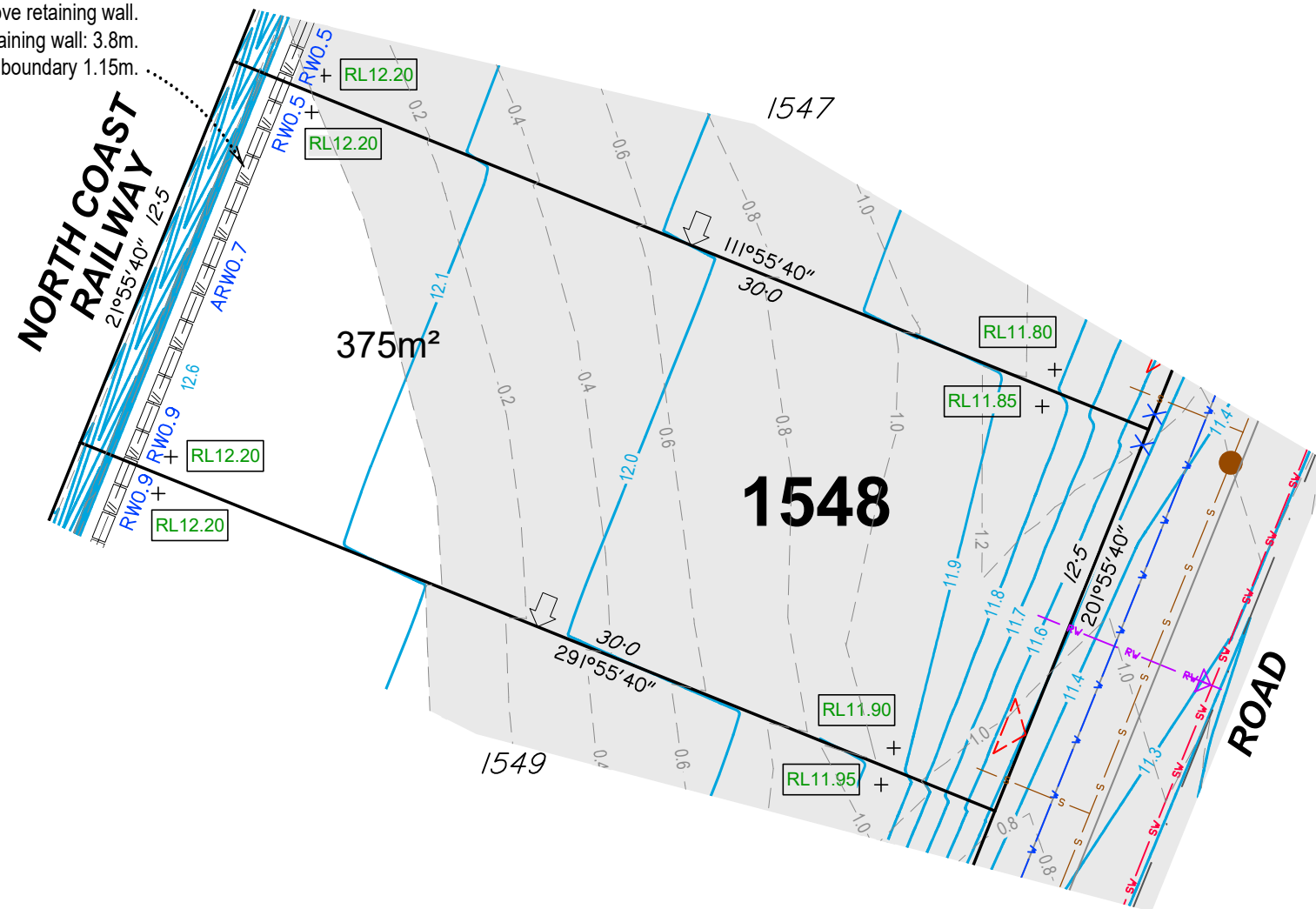
HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 05-07-2024      DRAWING NO. SB3594-22B-01-1548      VERSION B


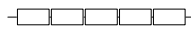


Acoustic fence above retaining wall.  
Height of acoustic fence above retaining wall: 3.8m.  
Offset from western boundary 1.15m.



# DISCLOSURE PLAN

For Proposed Lot 1549  
Riverbank - Stage 22B

Currently Described As  
RPD: Part of Lot 1034 on SP328488  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - rv — rv — Roofwater/Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - RL57.32 Area to be Filled
  - RL12.20 Design Pad Level
  -  Retaining Wall
  - RW Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  -  Proposed Driveway
  -  Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

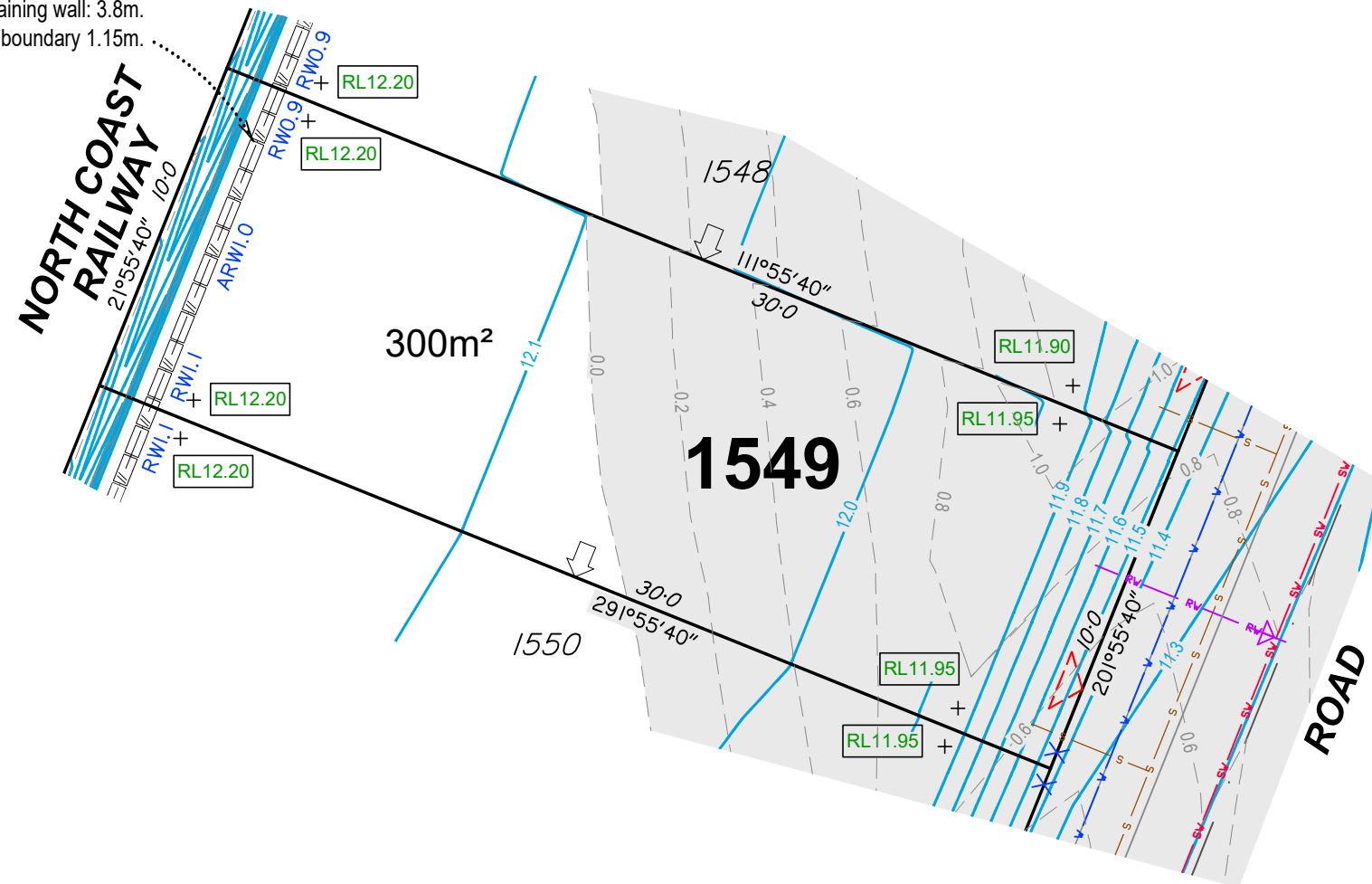
HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 05-07-2024      DRAWING NO. SB3594-22B-01-1549      VERSION B


Acoustic fence above retaining wall.  
Height of acoustic fence above retaining wall: 3.8m.  
Offset from western boundary 1.15m.



# DISCLOSURE PLAN

For Proposed Lot 1550  
Riverbank - Stage 22B

Currently Described As  
RPD: Part of Lot 1034 on SP328488  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - rv — rv — Roofwater/Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - ▾ Proposed Driveway
  - ← Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
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## RIVERBANK



■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

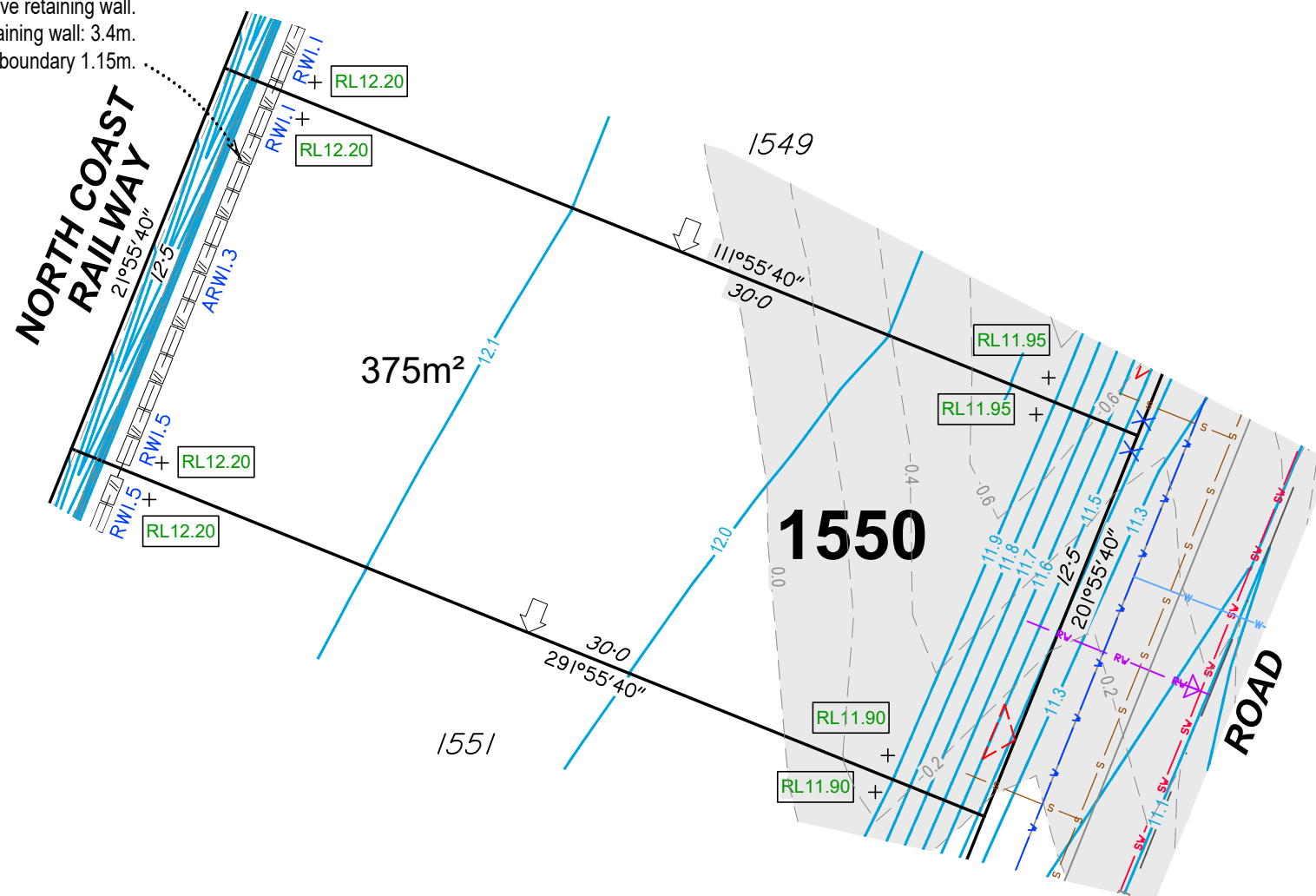
HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 05-07-2024      DRAWING NO. SB3594-22B-01-1550      VERSION B


Acoustic fence above retaining wall.  
Height of acoustic fence above retaining wall: 3.4m.  
Offset from western boundary 1.15m.



# DISCLOSURE PLAN

For Proposed Lot 1551  
Riverbank - Stage 22B

Currently Described As  
RPD: Part of Lot 1034 on SP328488  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - rv — rv — Roofwater/Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - <--> Proposed Driveway
  - ← Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
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## RIVERBANK



■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

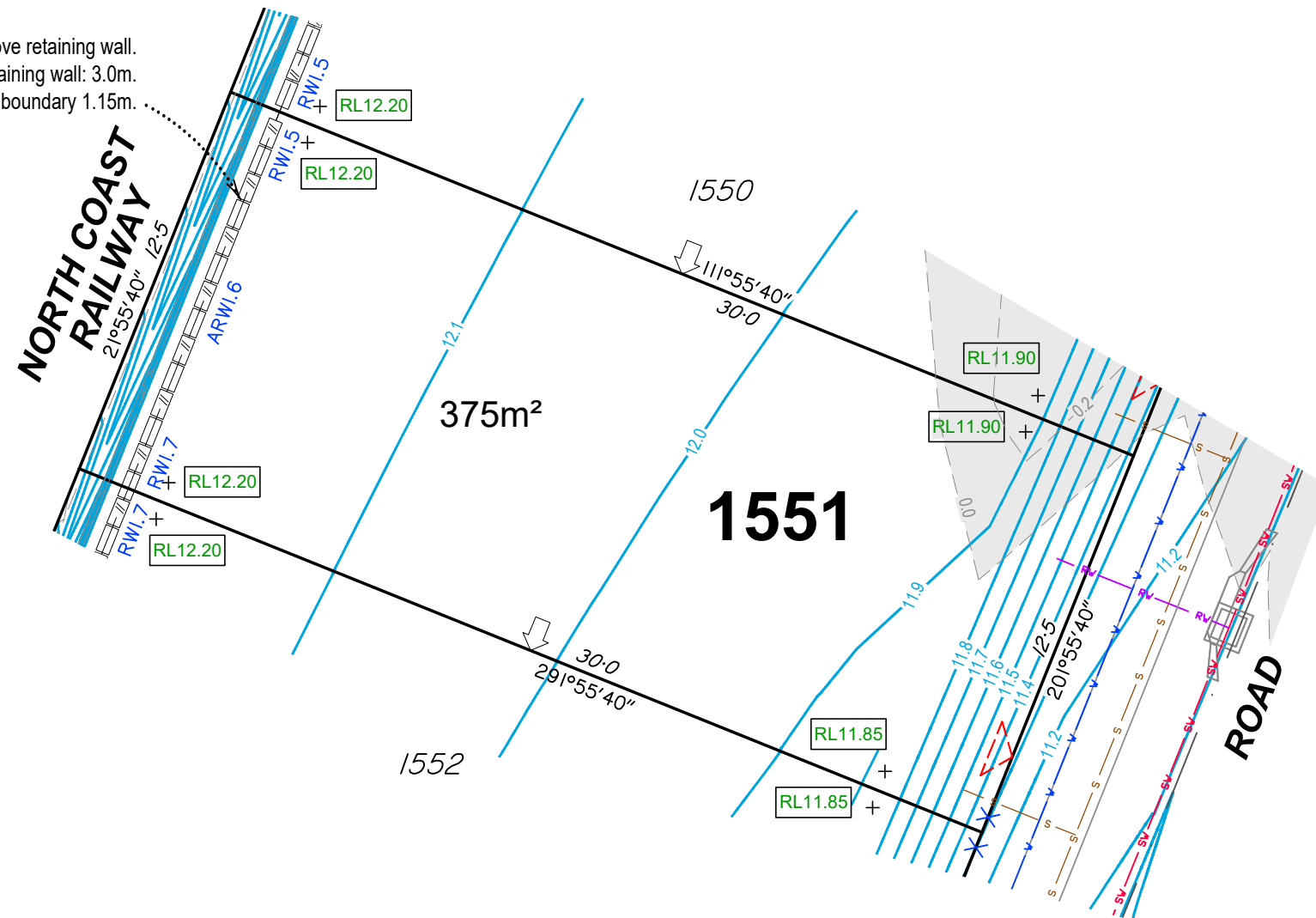
HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 05-07-2024      DRAWING NO. SB3594-22B-01-1551      VERSION B


Acoustic fence above retaining wall.  
Height of acoustic fence above retaining wall: 3.0m.  
Offset from western boundary 1.15m.



# DISCLOSURE PLAN

For Proposed Lot 1552  
Riverbank - Stage 22B

Currently Described As  
RPD: Part of Lot 1034 on SP328488  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - rv — rv — Roofwater/Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - RL57.32 Area to be Filled
  - RL11.85 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - < Proposed Driveway
  - ← Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

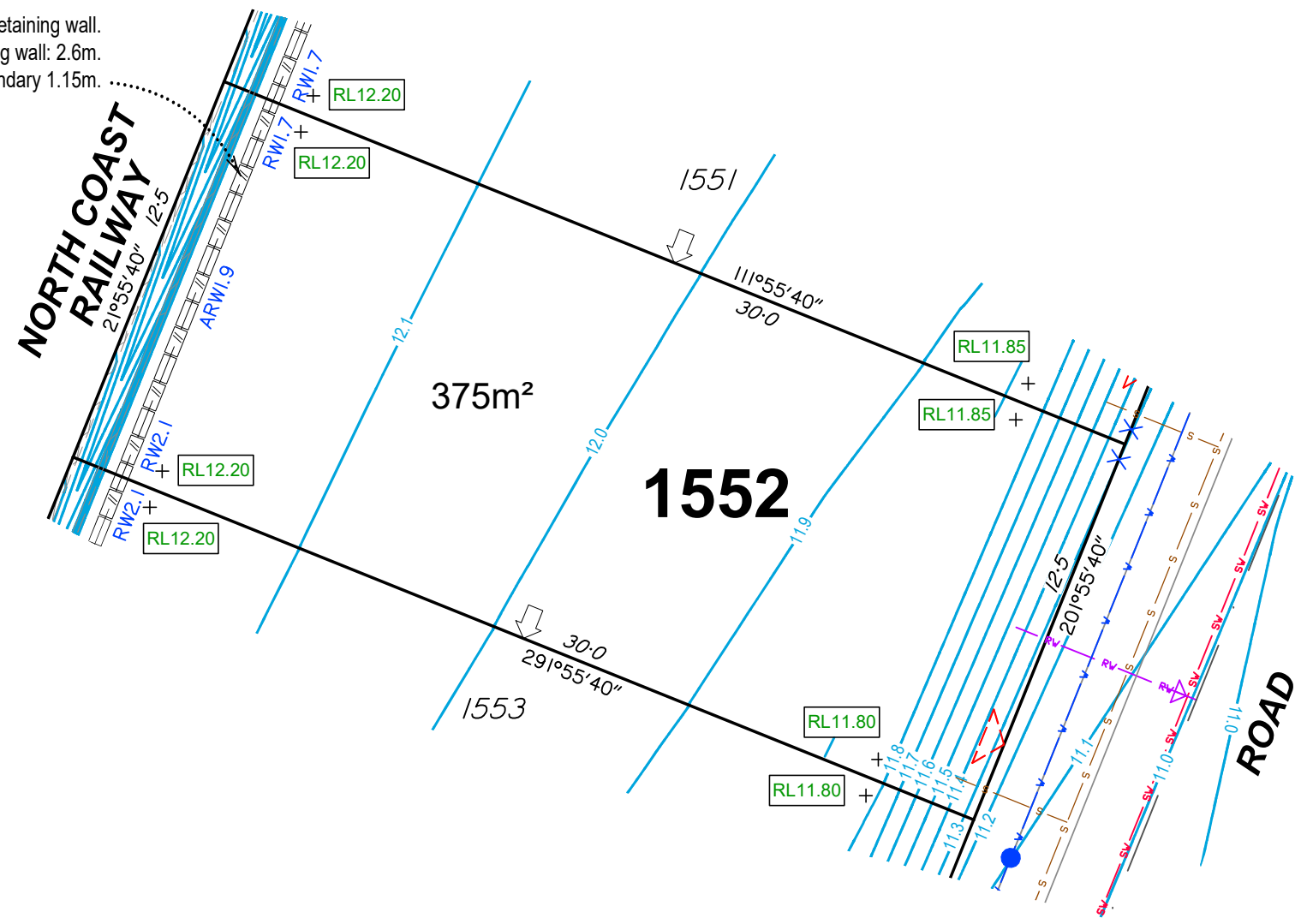
Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 05-07-2024      DRAWING NO. SB3594-22B-01-1552      VERSION B



Acoustic fence above retaining wall.  
Height of acoustic fence above retaining wall: 2.6m.  
Offset from western boundary 1.15m.









# DISCLOSURE PLAN

For Proposed Lot 1553  
Riverbank - Stage 22B

Currently Described As  
RPD: Part of Lot 1034 on SP328488  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - rv — rv — Roofwater/Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - RL57.32 Design Pad Level
  -  Retaining Wall
  - RW Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  -  Proposed Driveway
  -  Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

## RIVERBANK



■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

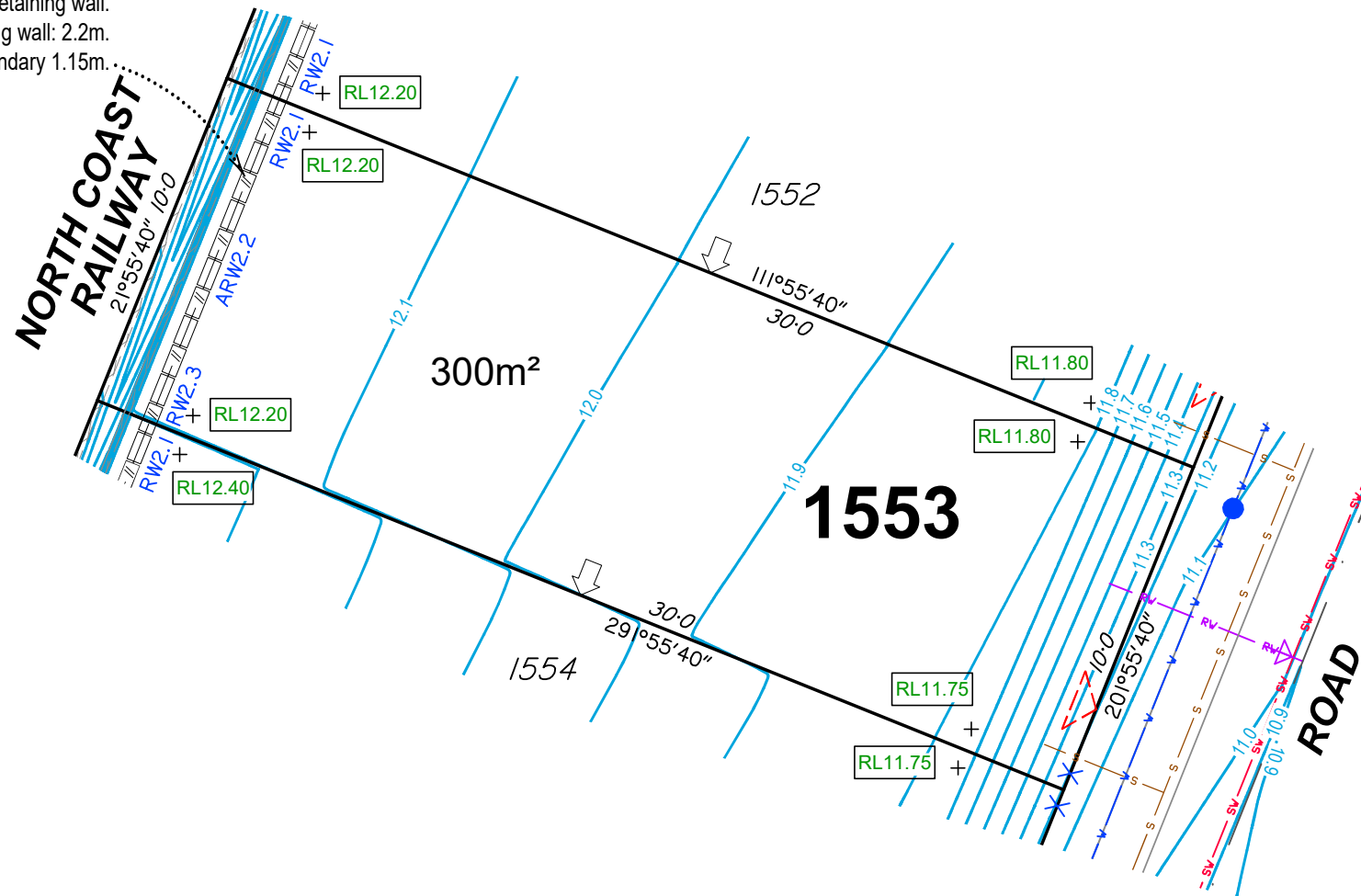
Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 05-07-2024      DRAWING NO. SB3594-22B-01-1553      VERSION B




Acoustic fence above retaining wall.  
Height of acoustic fence above retaining wall: 2.2m.  
Offset from western boundary 1.15m.



# DISCLOSURE PLAN

For Proposed Lot 1554  
Riverbank - Stage 22B

Currently Described As  
RPD: Part of Lot 1034 on SP328488  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - rv — rv — Roofwater/Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - RL57.32 Area to be Filled
  - RL12.40 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - > < Proposed Driveway
  - ← Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

## RIVERBANK



■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

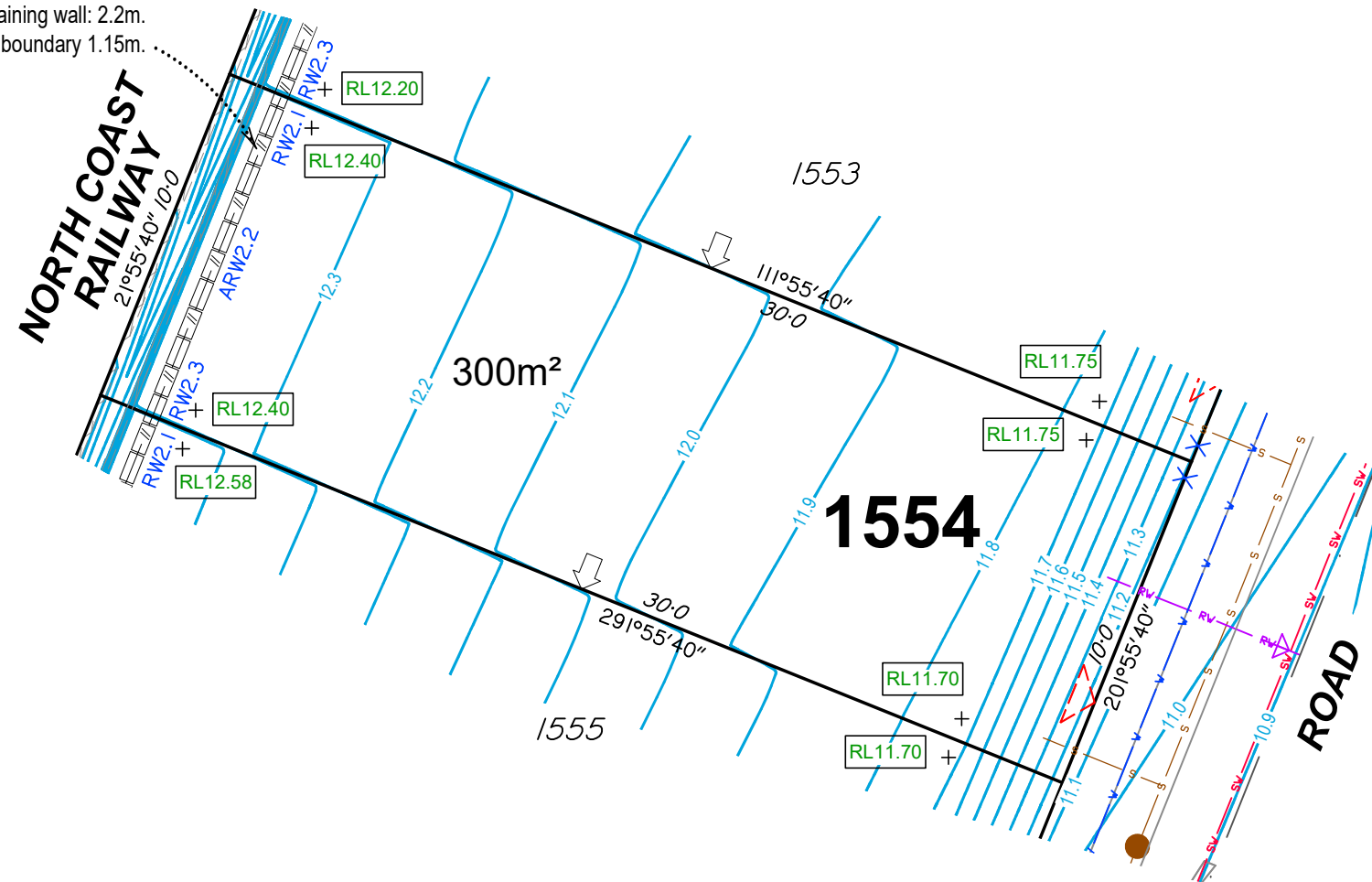
HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 05-07-2024      DRAWING NO. SB3594-22B-01-1554      VERSION B





Acoustic fence above retaining wall.  
Height of acoustic fence above retaining wall: 2.2m.  
Offset from western boundary 1.15m.



# DISCLOSURE PLAN

For Proposed Lot 1555  
Riverbank - Stage 22B

Currently Described As  
RPD: Part of Lot 1034 on SP328488  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - rv — rv — Roofwater/Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - RL57.32 Area to be Filled
  - RL57.32 Design Pad Level
  -  Retaining Wall
  - RW Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  -  Proposed Driveway
  -  Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

## RIVERBANK



■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

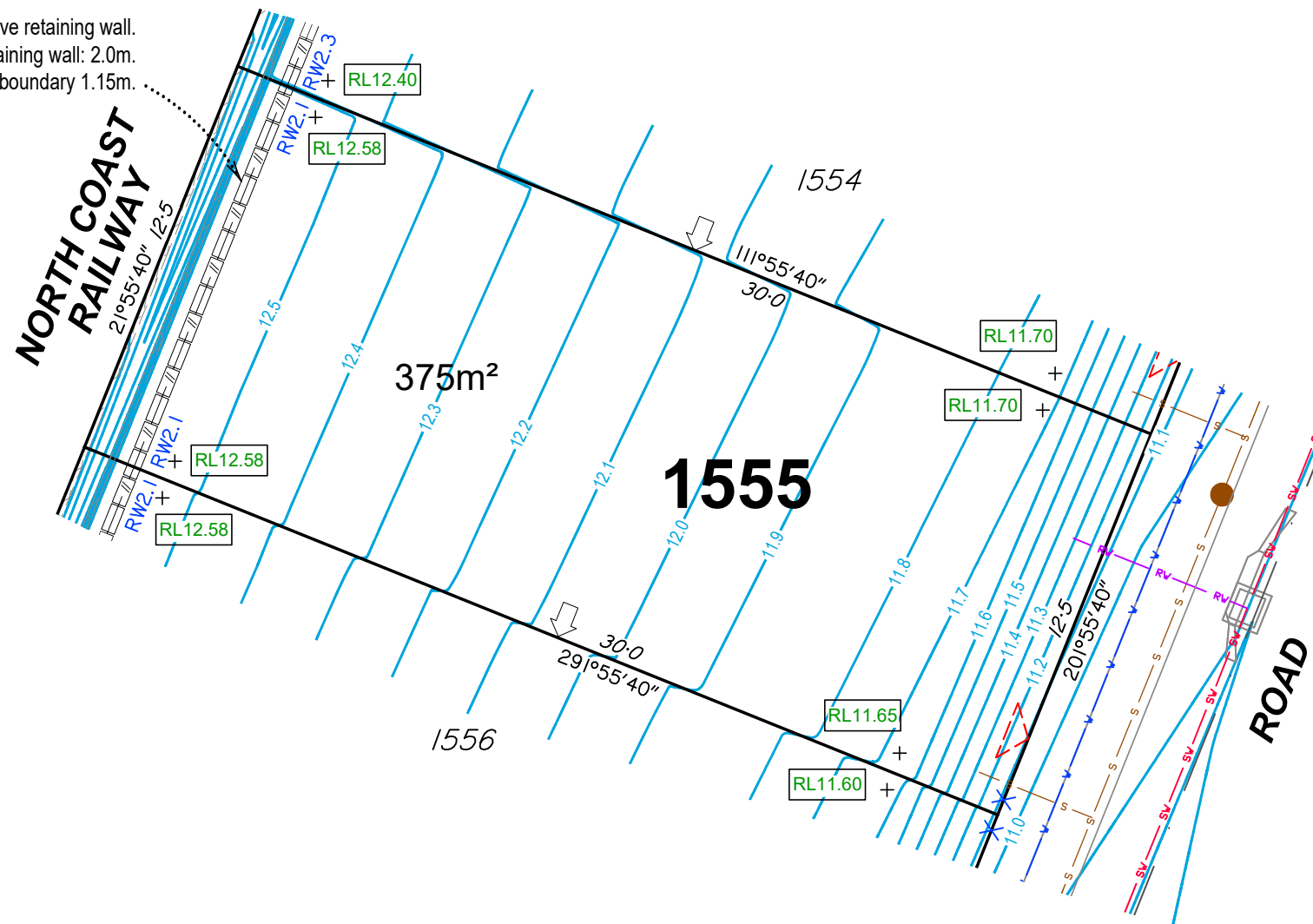
Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 05-07-2024      DRAWING NO. SB3594-22B-01-1555      VERSION B




Acoustic fence above retaining wall.  
Height of acoustic fence above retaining wall: 2.0m.  
Offset from western boundary 1.15m.



# DISCLOSURE PLAN

For Proposed Lot 1556  
Riverbank - Stage 22B

Currently Described As  
RPD: Part of Lot 1034 on SP328488  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - rv — rv — Roofwater/Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - < Proposed Driveway
  - ← Zero Lot Line Boundary

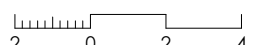
- Notes:**
1. This note is an integral part of this plan.
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  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

## RIVERBANK



■ Planning 
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 ■ Landscape 
 ■ Environment 
 ■ Surveying

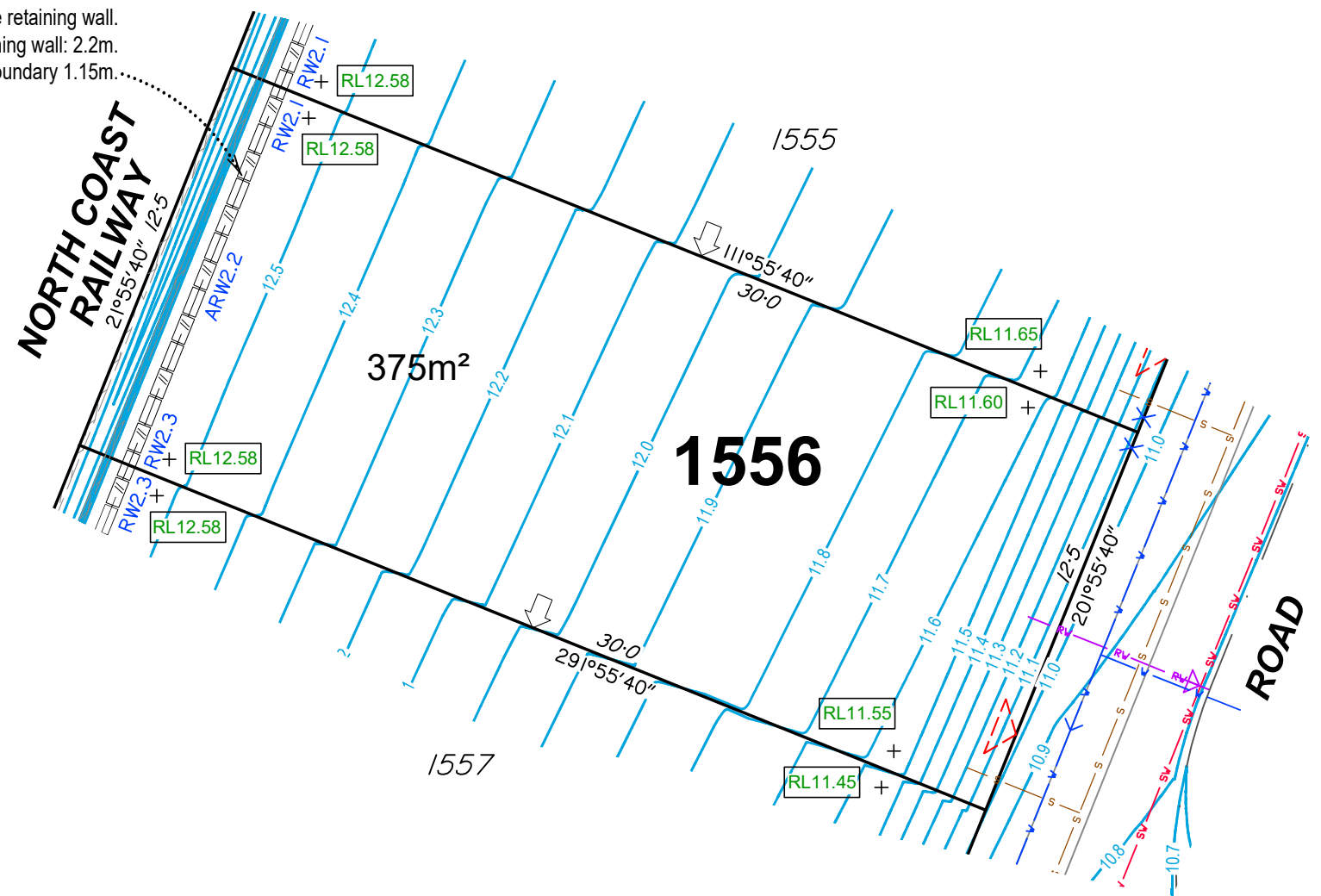
HORIZONTAL MERIDIAN  
MGA

  
 Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 05-07-2024      DRAWING NO. SB3594-22B-01-1556      VERSION B


Acoustic fence above retaining wall.  
Height of acoustic fence above retaining wall: 2.2m.  
Offset from western boundary 1.15m.



# DISCLOSURE PLAN

For Proposed Lot 1557  
Riverbank - Stage 22B

Currently Described As  
RPD: Part of Lot 1034 on SP328488  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - rv — rv — Roofwater/Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - RL57.32 Area to be Filled
  - RL12.58 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - > Proposed Driveway
  - ← Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
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  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

## RIVERBANK



■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

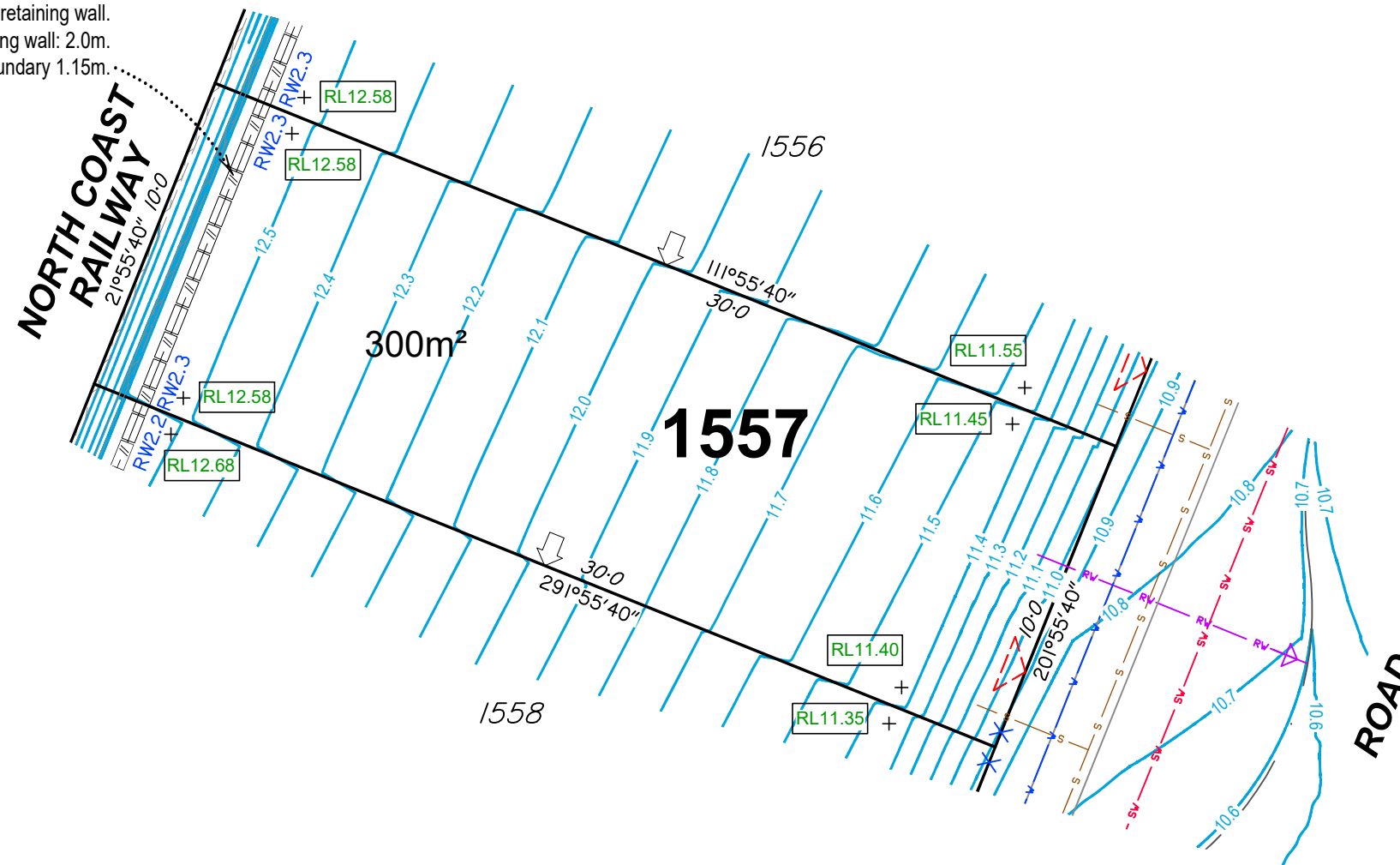
HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 05-07-2024 DRAWING NO. SB3594-22B-01-1557 VERSION B


Acoustic fence above retaining wall.  
Height of acoustic fence above retaining wall: 2.0m.  
Offset from western boundary 1.15m.



# DISCLOSURE PLAN

For Proposed Lot 1558  
Riverbank - Stage 22B

Currently Described As  
RPD: Part of Lot 1034 on SP328488  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - rv — rv — Roofwater/Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - > < Proposed Driveway
  - ← Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

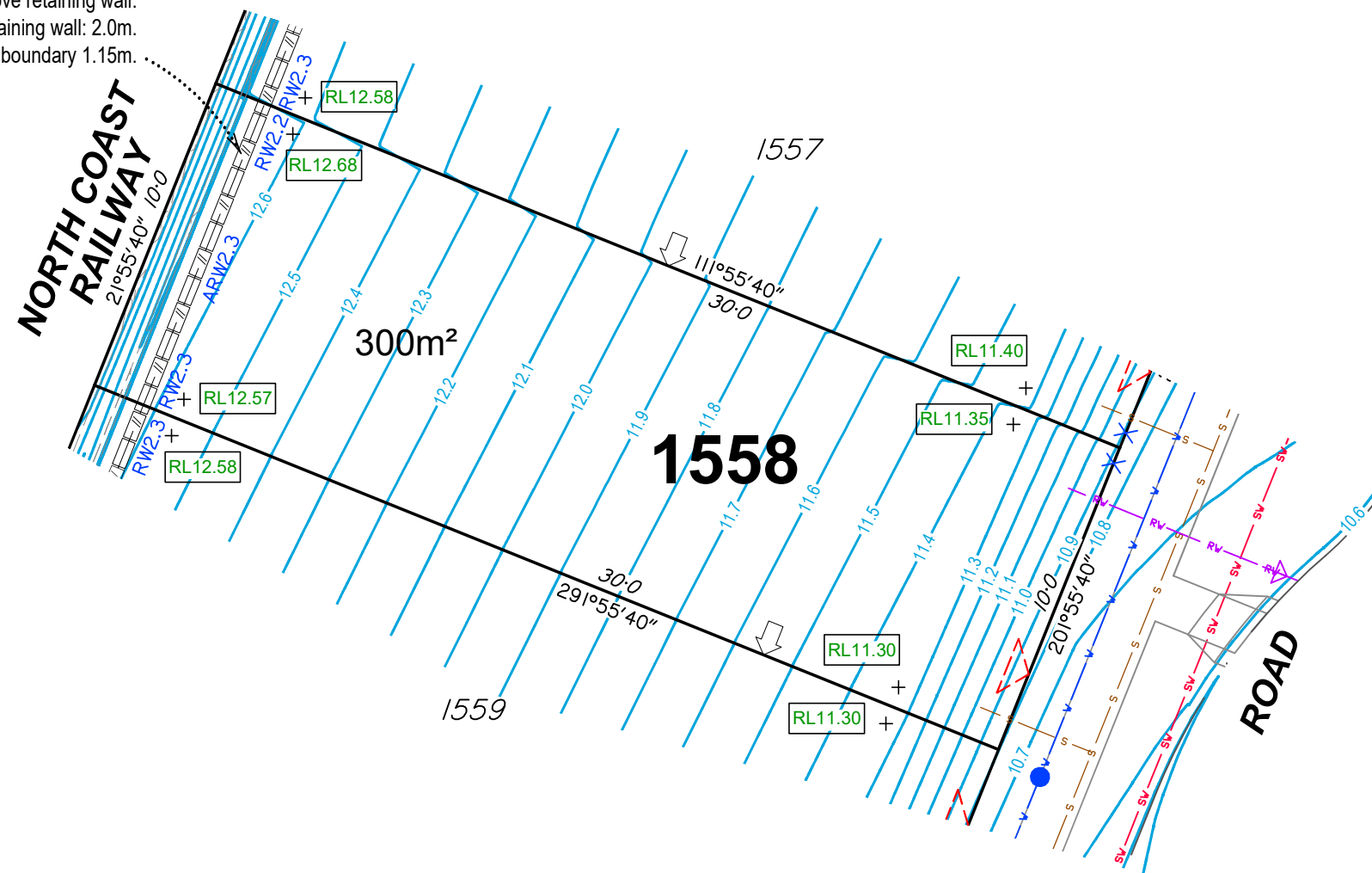
HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 05-07-2024      DRAWING NO. SB3594-22B-01-1558      VERSION B


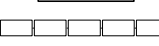


Acoustic fence above retaining wall.  
Height of acoustic fence above retaining wall: 2.0m.  
Offset from western boundary 1.15m.



# DISCLOSURE PLAN

For Proposed Lot 1559  
Riverbank - Stage 22B

Currently Described As  
RPD: Part of Lot 1034 on SP328488  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - rv — rv — Roofwater/Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  -  Retaining Wall
  - RW Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  -  Proposed Driveway
  -  Zero Lot Line Boundary

- Notes:**
- This note is an integral part of this plan.
  - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
  - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  - This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
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  - This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



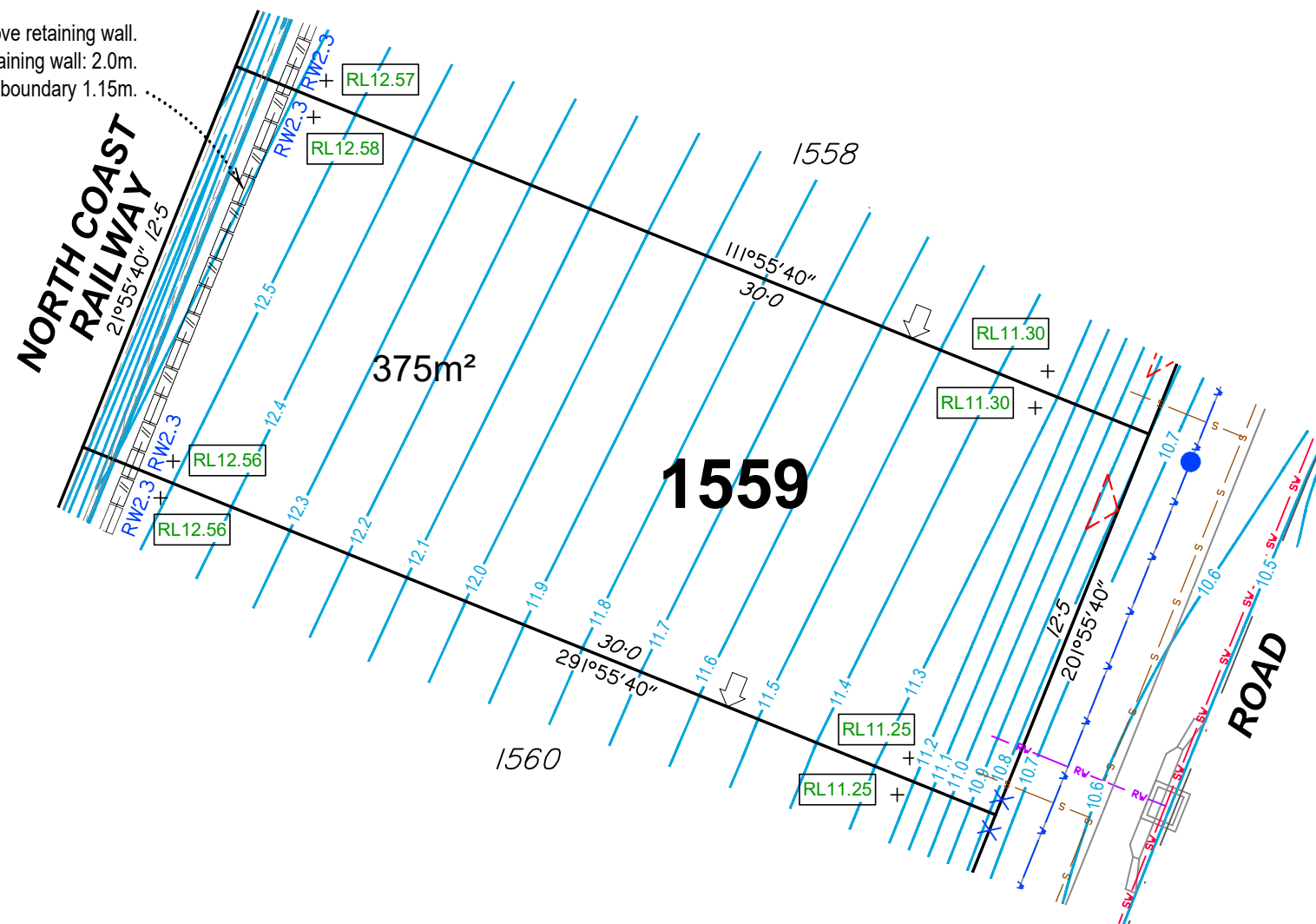
■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN MGA  
 Scale 1:200 @A3  
 LEVEL DATUM AHD.

DATE DRAWN 05-07-2024 DRAWING NO. SB3594-22B-01-1559 VERSION B




Acoustic fence above retaining wall.  
Height of acoustic fence above retaining wall: 2.0m.  
Offset from western boundary 1.15m.



# DISCLOSURE PLAN

For Proposed Lot 1560  
Riverbank - Stage 22B

Currently Described As  
RPD: Part of Lot 1034 on SP328488  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - rv — rv — Roofwater/Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - < Proposed Driveway
  - ← Zero Lot Line Boundary

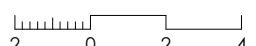
- Notes:**
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## RIVERBANK



■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

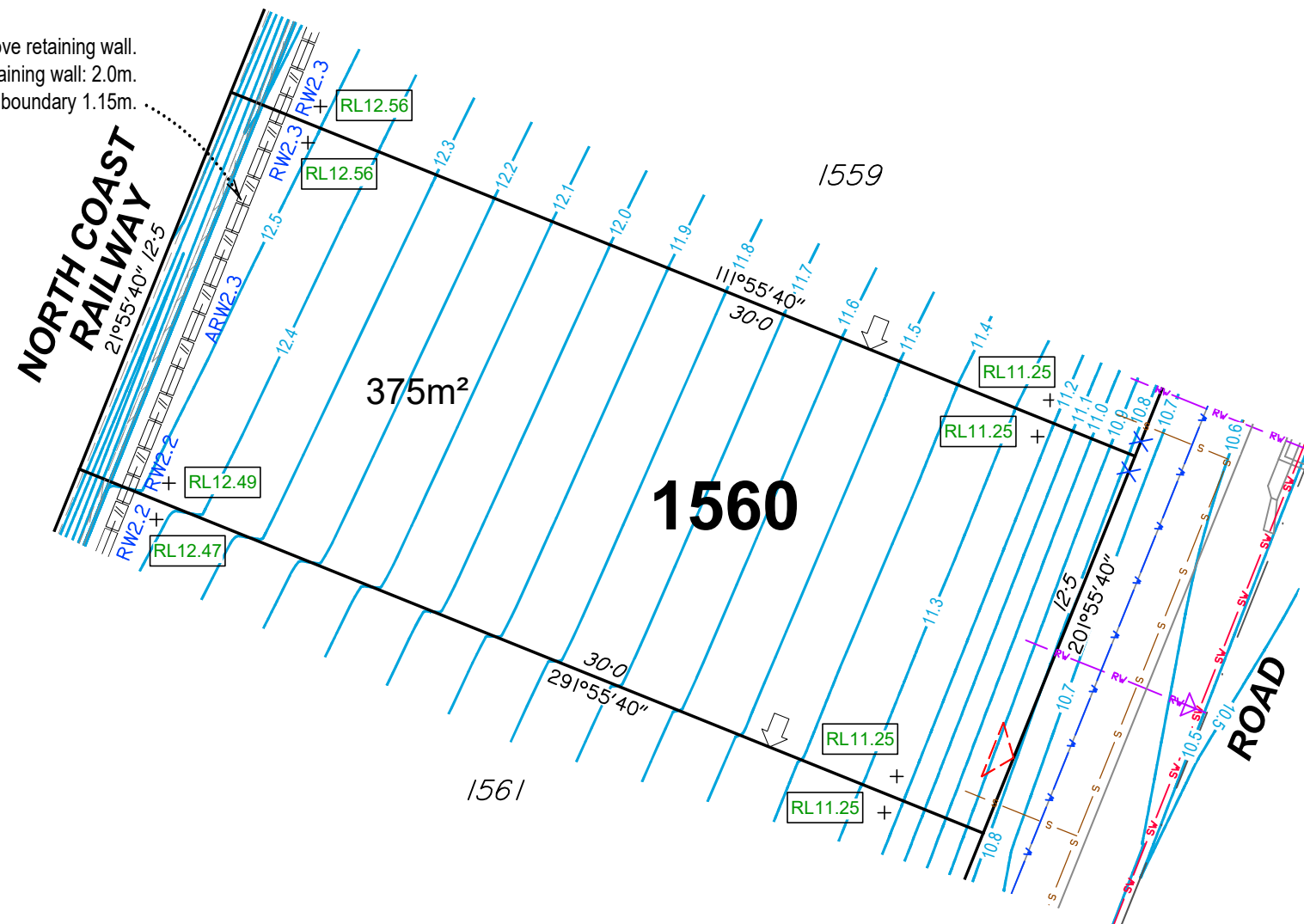
  
 Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 05-07-2024      DRAWING NO. SB3594-22B-01-1560      VERSION B



Acoustic fence above retaining wall.  
Height of acoustic fence above retaining wall: 2.0m.  
Offset from western boundary 1.15m.






# DISCLOSURE PLAN

For Proposed Lot 1561  
Riverbank - Stage 22B

Currently Described As  
RPD: Part of Lot 1034 on SP328488  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - rv — rv — Roofwater/Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - RL57.32 Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - >>> Proposed Driveway
  - ← Zero Lot Line Boundary

- Notes:**
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## RIVERBANK



■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

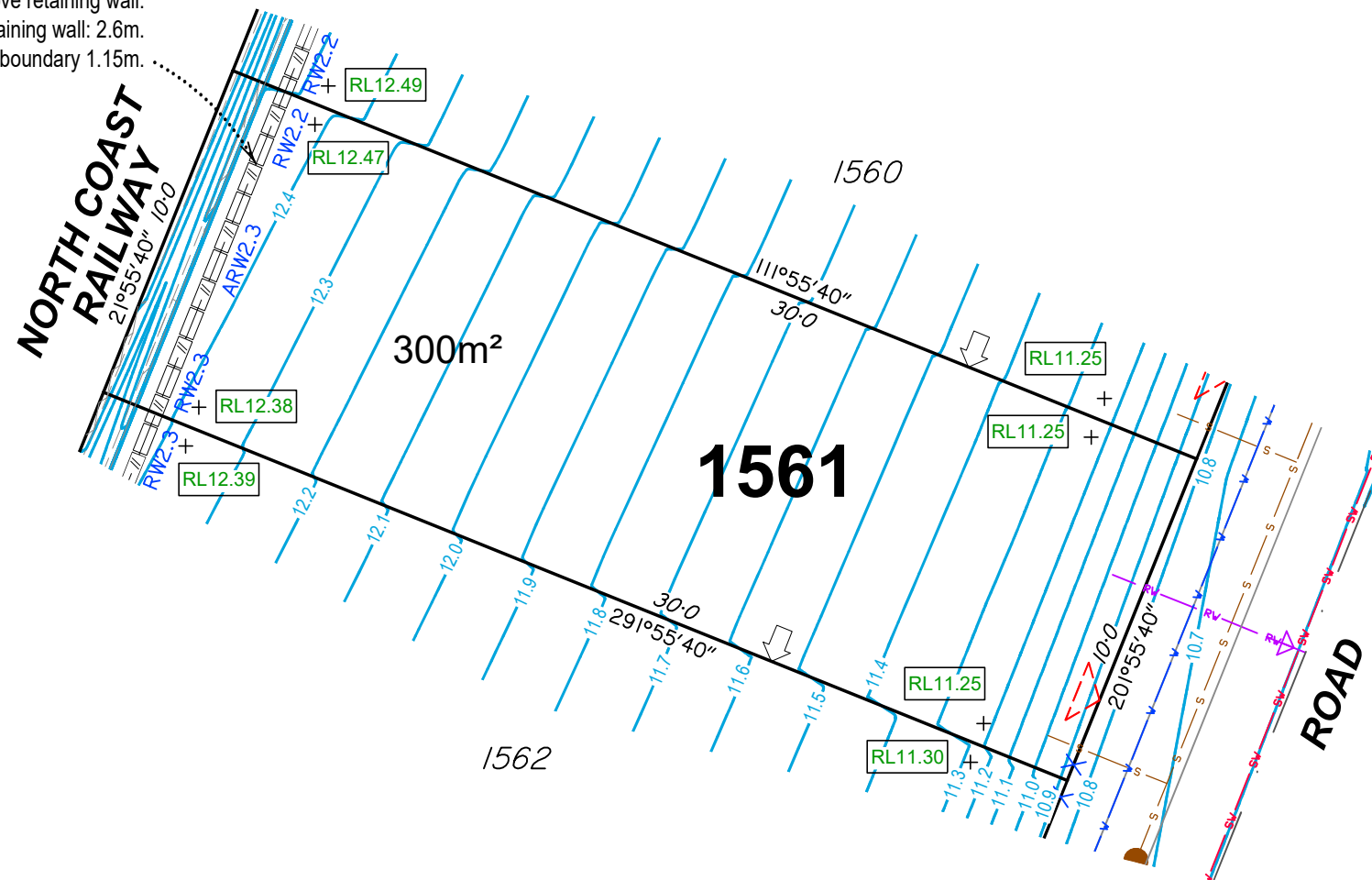
Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 05-07-2024      DRAWING NO. SB3594-22B-01-1561      VERSION B




Acoustic fence above retaining wall.  
Height of acoustic fence above retaining wall: 2.6m.  
Offset from western boundary 1.15m.



# DISCLOSURE PLAN

For Proposed Lot 1562  
Riverbank - Stage 22B

Currently Described As  
RPD: Part of Lot 1034 on SP328488  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - rv — rv — Roofwater/Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - RL57.32 Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowside of the wall)
  - < Proposed Driveway
  - ← Zero Lot Line Boundary

- Notes:**
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 ■ Landscape 
 ■ Environment 
 ■ Surveying

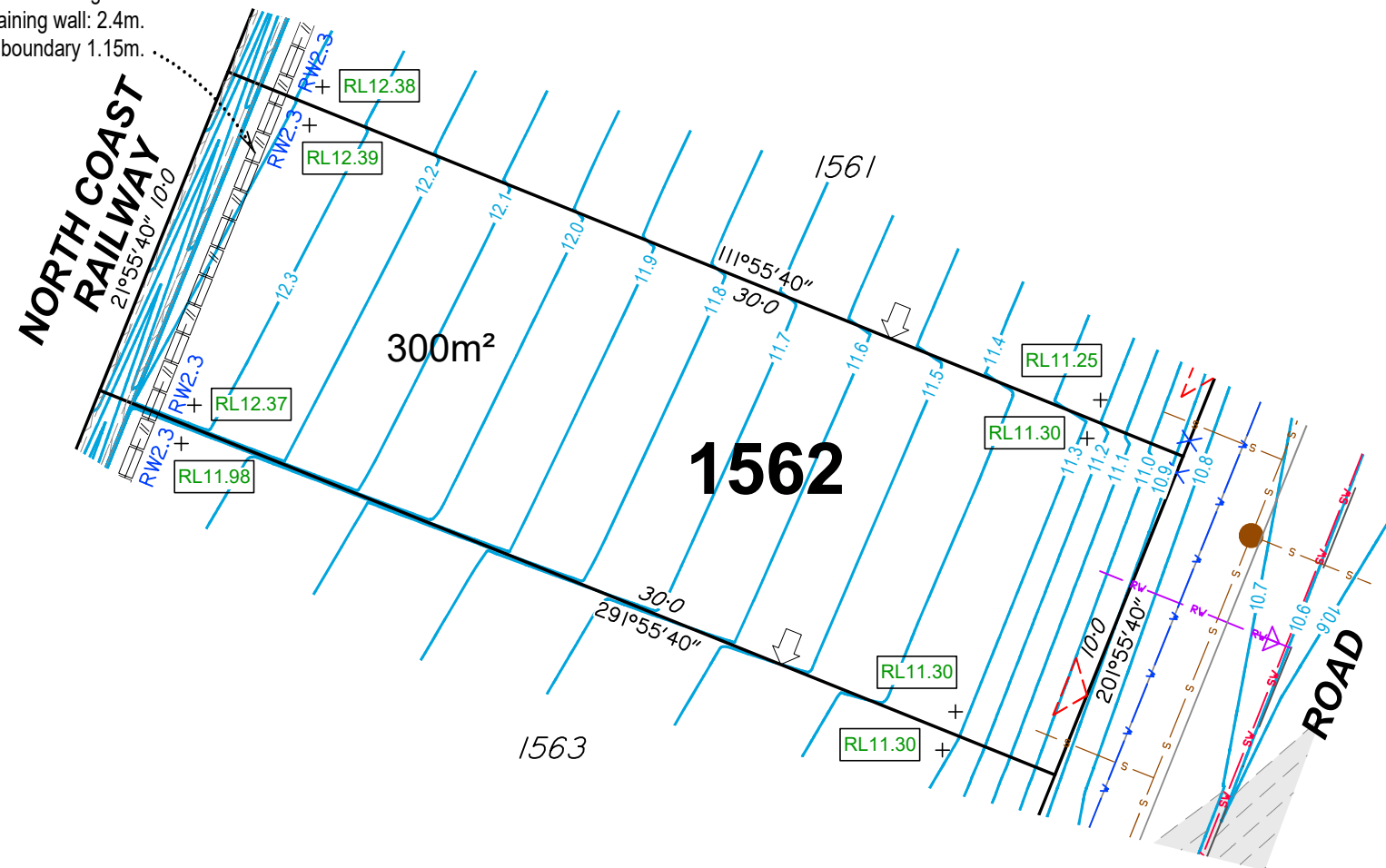
HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 05-07-2024      DRAWING NO. SB3594-22B-01-1562      VERSION B


Acoustic fence above retaining wall.  
Height of acoustic fence above retaining wall: 2.4m.  
Offset from western boundary 1.15m.



# DISCLOSURE PLAN

For Proposed Lot 1563  
Riverbank - Stage 22B

Currently Described As  
RPD: Part of Lot 1034 on SP328488  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - rv — rv — Roofwater/Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - RL57.32 Area to be Filled
  - RL11.30 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - < Proposed Driveway
  - ← Zero Lot Line Boundary

- Notes:**
- This note is an integral part of this plan.
  - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
  - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  - This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  - Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  - This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

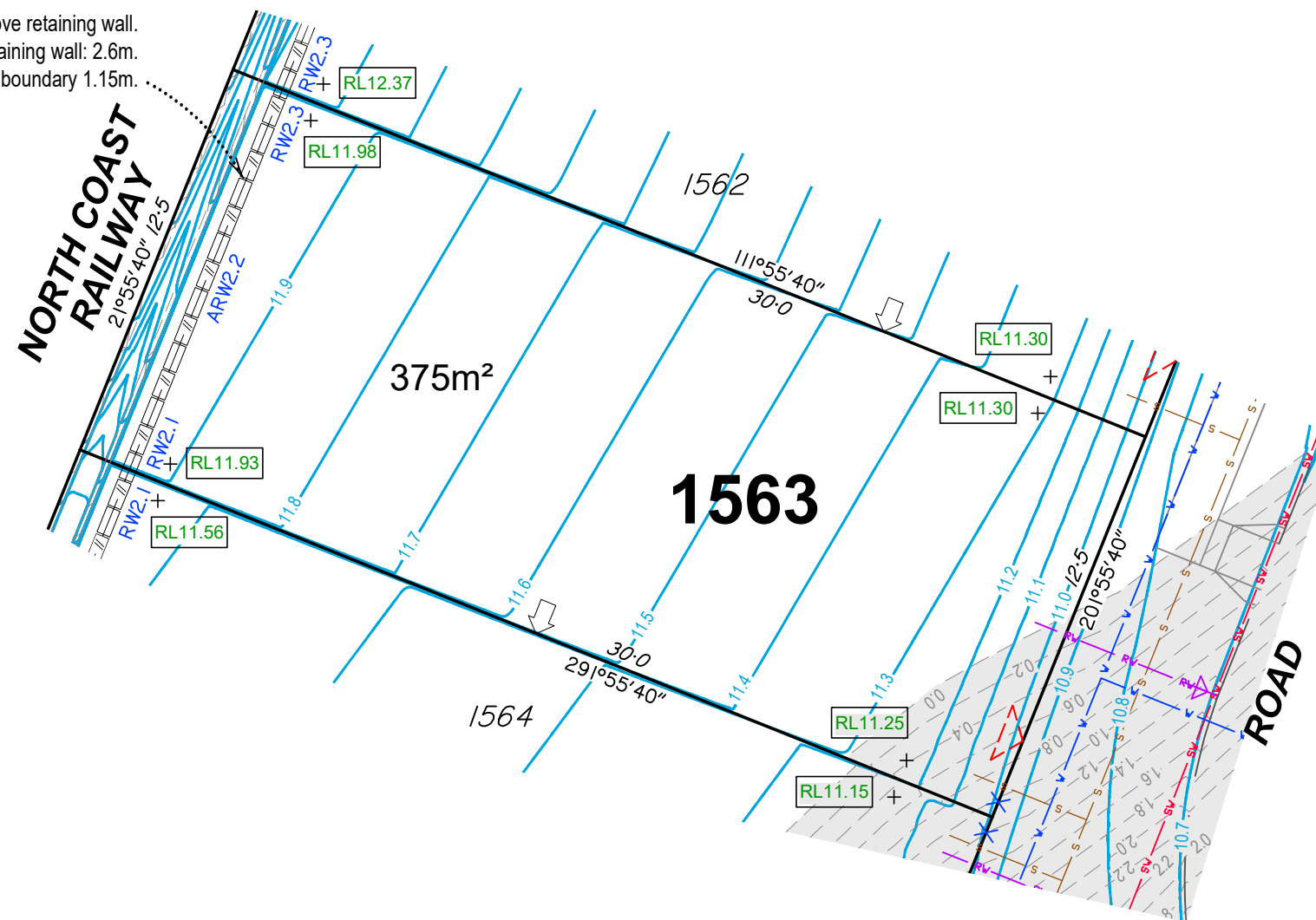
HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 05-07-2024 DRAWING NO. SB3594-22B-01-1563 VERSION B


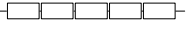


Acoustic fence above retaining wall.  
Height of acoustic fence above retaining wall: 2.6m.  
Offset from western boundary 1.15m.



# DISCLOSURE PLAN

For Proposed Lot 1564  
Riverbank - Stage 22B

Currently Described As  
RPD: Part of Lot 1034 on SP328488  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - rv — rv — Roofwater/Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - RL57.32 Area to be Filled
  - RL11.32 Design Pad Level
  -  Retaining Wall
  - RW Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  -  Proposed Driveway
  -  Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

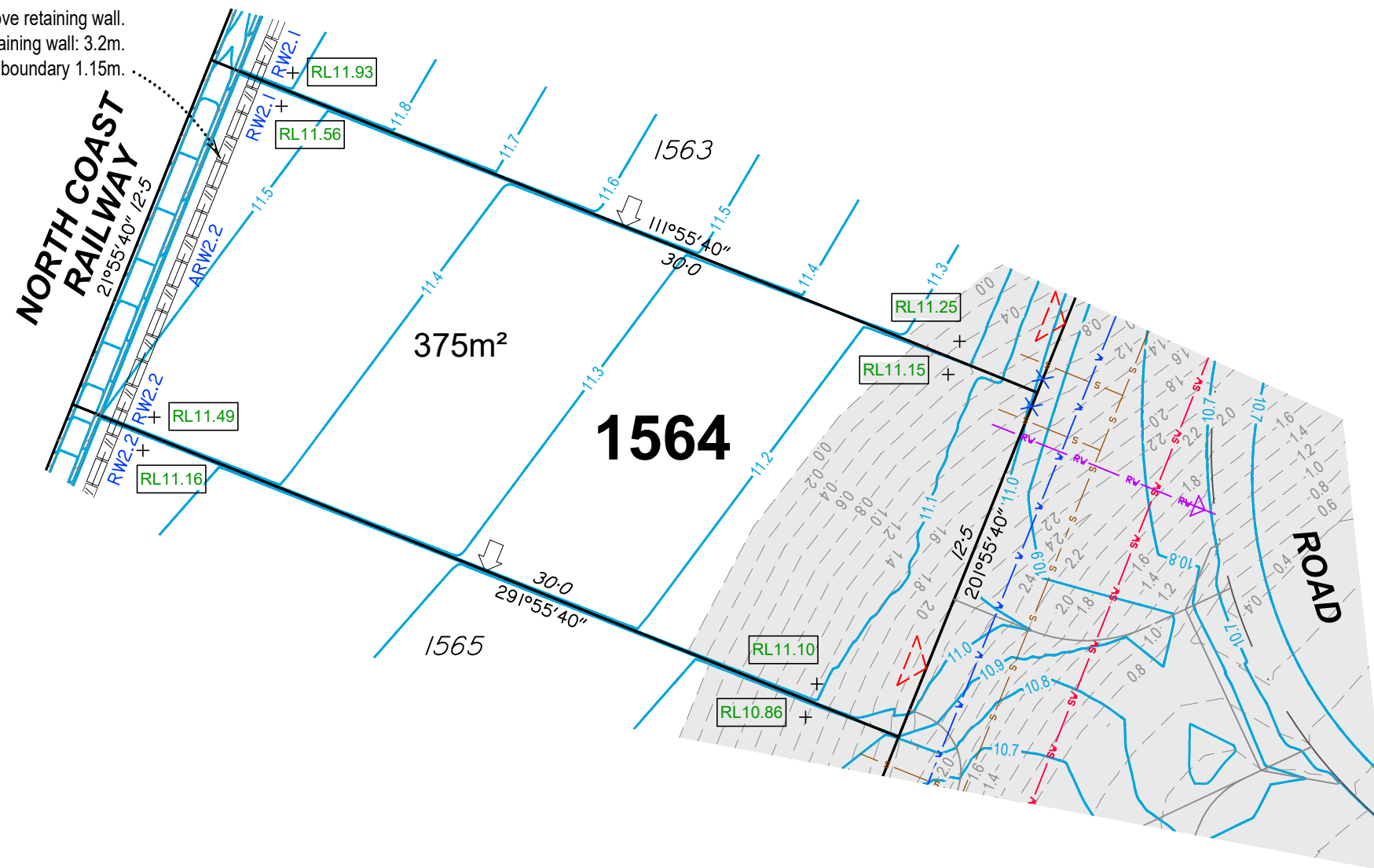
HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 05-07-2024      DRAWING NO. SB3594-22B-01-1564      VERSION B

Acoustic fence above retaining wall.  
Height of acoustic fence above retaining wall: 3.2m.  
Offset from western boundary 1.15m.



# DISCLOSURE PLAN

For Proposed Lot 1565  
Riverbank - Stage 22B

Currently Described As  
RPD: Part of Lot 1034 on SP328488  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - Easement Boundary
  - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - RV — RV — Roofwater/Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - <img alt="Proposed Driveway symbol" style="vertical-align: middle;"/> Proposed Driveway
  - ← Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Egis on 31-05-2024.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

## RIVERBANK



■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN	DRAWING NO.	VERSION
05-07-2024	SB3594-22B-01-1565	B

Acoustic fence above retaining wall.  
Height of acoustic fence above retaining wall: 3.0m.  
Offset from western boundary 1.15m.

