

Development Statistics		Stage 22A
<b>Stage Area</b>		1.353 ha
<b>Saleable Area</b>		
Single Family Allotments		0.959 ha
<b>Total Area of Allotments</b>		<b>0.959 ha</b>
<b>Open Space</b>		
Pedestrian Linkage / Road Reserve		0.048 ha
<b>Total Open Space</b>		<b>0.048 ha</b>
<b>Area of New Road</b>		0.346 ha
<b>Residential Allotments</b>		
<b>25m Deep Allotments</b>	<b>Typical Size</b>	<b>Lots</b>
Premium Villa Allotment	12.5m x 25m	3
Courtyard Allotment	14m x 25m	3
<b>Sub-Total 25m Deep Allotments</b>		<b>6</b>
<b>30m Deep Allotments</b>	<b>Typical Size</b>	<b>Lots</b>
Villa Allotment	10m x 30m	6
Premium Villa Allotment	12.5m x 30m	10
Courtyard Allotment	14m x 30m	1
Traditional Allotment	20m x 30m	1
<b>Sub-Total 30m Deep Allotments</b>		<b>18</b>
<b>Total Residential Allotments</b>		<b>24</b>
<b>Length of New Road</b>		
14.0m Wide New Road		34m
16.0m Wide New Road		52m
16.5m Wide New Road		110m
<b>Total Length of New Road</b>		<b>196m</b>

**Notes:**

**General**

- Maximum building location envelopes shown are subject to future proposed easements and/or other underground services.

**Site Cover**

- Site cover (excluding eaves, sun shading devices, patios, balconies and other unenclosed structures) does not exceed that outlined in the Site Cover Table.

**Car Parking Spaces**

- Minimum of 2 onsite car parking spaces are provided per dwelling.

**Garages and Carports**

- Garage and carport openings shall be as per Garage and Carport Openings Table.

**Driveways**

- Driveway crossovers are located in accordance with this Plan of Development.
- Driveways do not include a reversing bay, manoeuvring area or visitor parking space(s) (other than tandem spaces) in the front setback.

**Waste**

- Each dwelling includes a bin storage area that:
  - is not visible from public areas or screened from public areas;
  - has a minimum area of 1.0m x 2.0m
  - if located within the garage, the area must be ventilated;
  - if located within the front setback, must be stored in a small enclosure.

**Casual Surveillance**

- Dwellings generally must address primary frontages with a minimum of a window and either a front door or pedestrian entrance. Dwellings on corner lots may have a front door addressing the secondary frontage but must still address the primary frontage with a window on each level.
- The building must have a window with an area of at least 1m<sup>2</sup> or multiple habitable room windows having a combined area of at least 2.5m<sup>2</sup> that face the street.

**Corner lots**

- For corner lots, the Primary Frontage shall be considered the narrow frontage addressing a road.

**Built to Boundary Walls**

- Built to boundary walls shall be as per Built to Boundary Walls Residential Uses Table.

**Setbacks**

- Minimum setbacks shall be as per Plan of Development Setbacks Table.

**Parking Breakdown**

Total On-Street Parking Spaces Required ..... 12  
 Total On-Street Parking Spaces Provided ..... 12

**BUILT TO BOUNDARY WALLS RESIDENTIAL USES**

Lot frontage width	Mandatory / Optional	Length and Height of Built to Boundary Wall
More than 7.5m to 12.5m	Mandatory - one side	Max Length: 60% of the length of the boundary Max Height: 4.5m
More than 12.5m to 18m	Optional: i. on 1 boundary only; ii. where the built to boundary wall adjoins a lot with a frontage less than 18m. Not permitted - Otherwise	Max Length: the lesser of 15m or 60% of the length of the boundary Max Height: 4.5m
Greater than 18m	Not permitted	Not permitted*

Note - Max Length includes the length of walls of any other buildings on the same boundary. e.g. detached garage, carport or shed.  
 Note - For the maximum height of domestic outbuildings refer to the examples that achieve aspects of the performance outcomes for building height and domestic outbuildings.  
 \*Note - Built to boundary walls are not permitted, however, reduced side and rear boundary clearances may be permitted as prescribed (e.g. QDC).

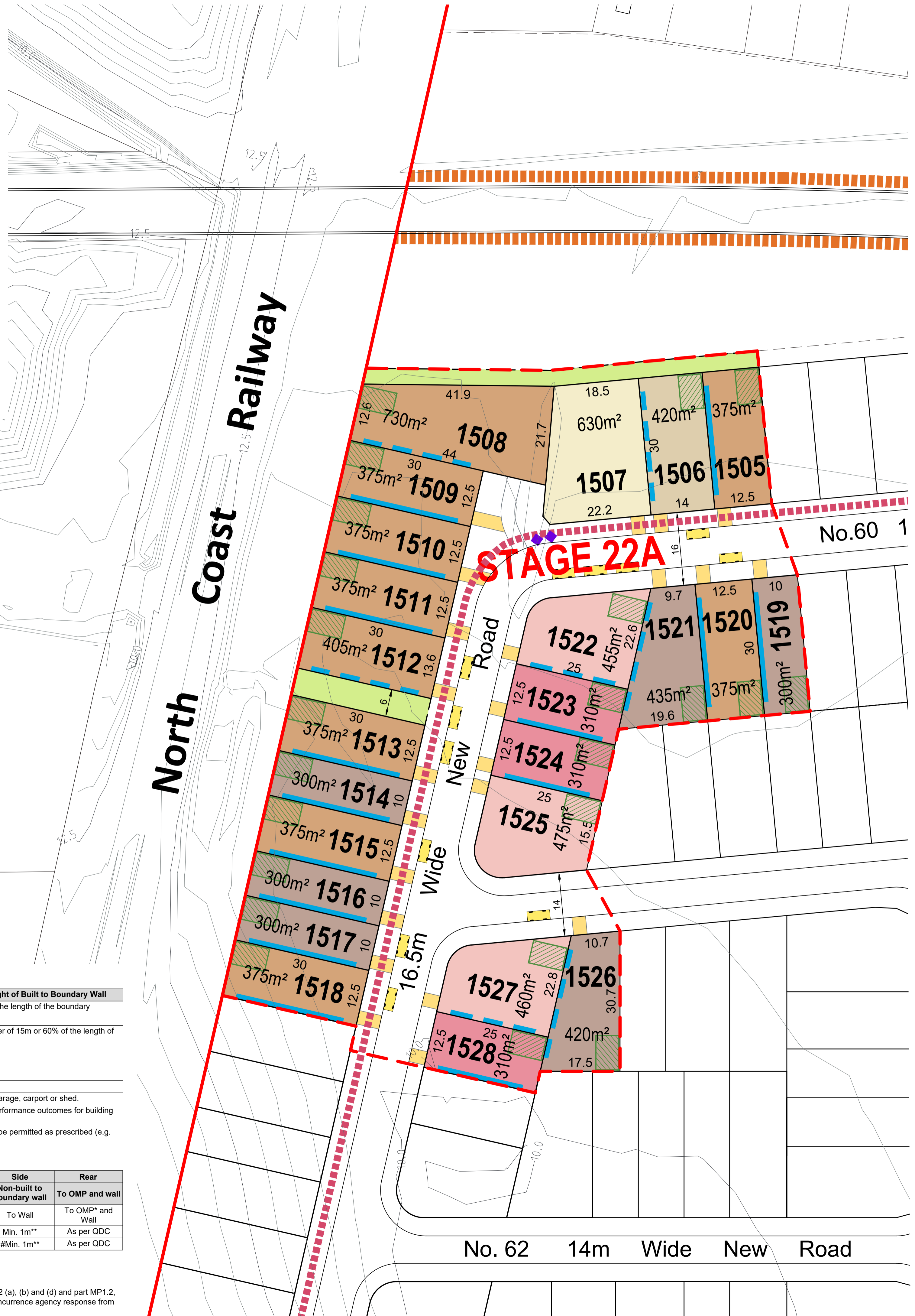
**PLAN OF DEVELOPMENT SETBACKS**

Height of Wall	Frontage						Side		Rear	
	Primary		Secondary to street		Non-built to boundary wall		To Wall	To OMP* and Wall		
Less than 4.5m	Min. 3m	Min. 2m	To covered car parking space	Min. 2m	Min. 1m	Min. 5.4m	Min. 1m**	As per QDC		
4.5m to 8.5m	Min. 3m	Min. 2m	N/A	Min. 2m	Min. 1m	N/A	#Min. 1m**	As per QDC		

\* OMP includes architectural features such as piers, pylons, eaves, etc.  
 \*\* Eaves may encroach to a maximum of 450mm.  
 # One side must be setback a min. 1.5m to the wall.  
 Note - This is a qualifiable standard that is an alternative provision to QDC, part MP1.1, A1 (a), (b) and (c), A2 (a), (b) and (d) and part MP1.2, A1 (a), (b) and (c), A2 (a), (b) and (d). Non-compliance with this provision for a Dwelling house requires a concurrence agency response from Council.

Building Height	Lot Size			
	300m <sup>2</sup> or less	301 - 400m <sup>2</sup>	401 - 500m <sup>2</sup>	501m <sup>2</sup> +
8.5m or less	75%	70%	60%	60%

Covered car space opening(s) per street frontage	Less Than 12.5m	12.5m to 18m	Greater than 18m
	Single Storey Dwelling	a. maximum 50% of the front frontage width (being the frontage vehicle access is from); and	a. 6m wide maximum; and
Additional Requirements for Single Storey Dwelling	b. recessed: i. at least 1.0m behind the main building line; or ii. at least 1.0m behind a front portico and no more than 2.0m in front of the main building line.		
Two Storey Dwelling	a. 6.0m wide maximum; and b. recessed 1.0m behind the front wall or balcony of upper level.		
Editor's note - Front wall is to have a minimum length of 40% of the adjoining frontage.			



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**RIVERBANK**

**PROPOSAL PLAN STAGE 22A**

PLAN REF: 7025-218G  
 DATE: 31 AUGUST 2022  
 CLIENT: PEET  
 DRAWN BY: JC  
 CHECKED BY: DG

**Legend**

- Site Boundary
- Stage Boundary
- 0.5m Contours
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- Preferred Driveway Location
- Preferred Private Open Space Location
- Indicative On-Street Parking
- 2.5m Shared Pedestrian/Cycle Path
- 1.5m Pathway
- Indicative Bin Pad Location for Lot 1508 and 1509

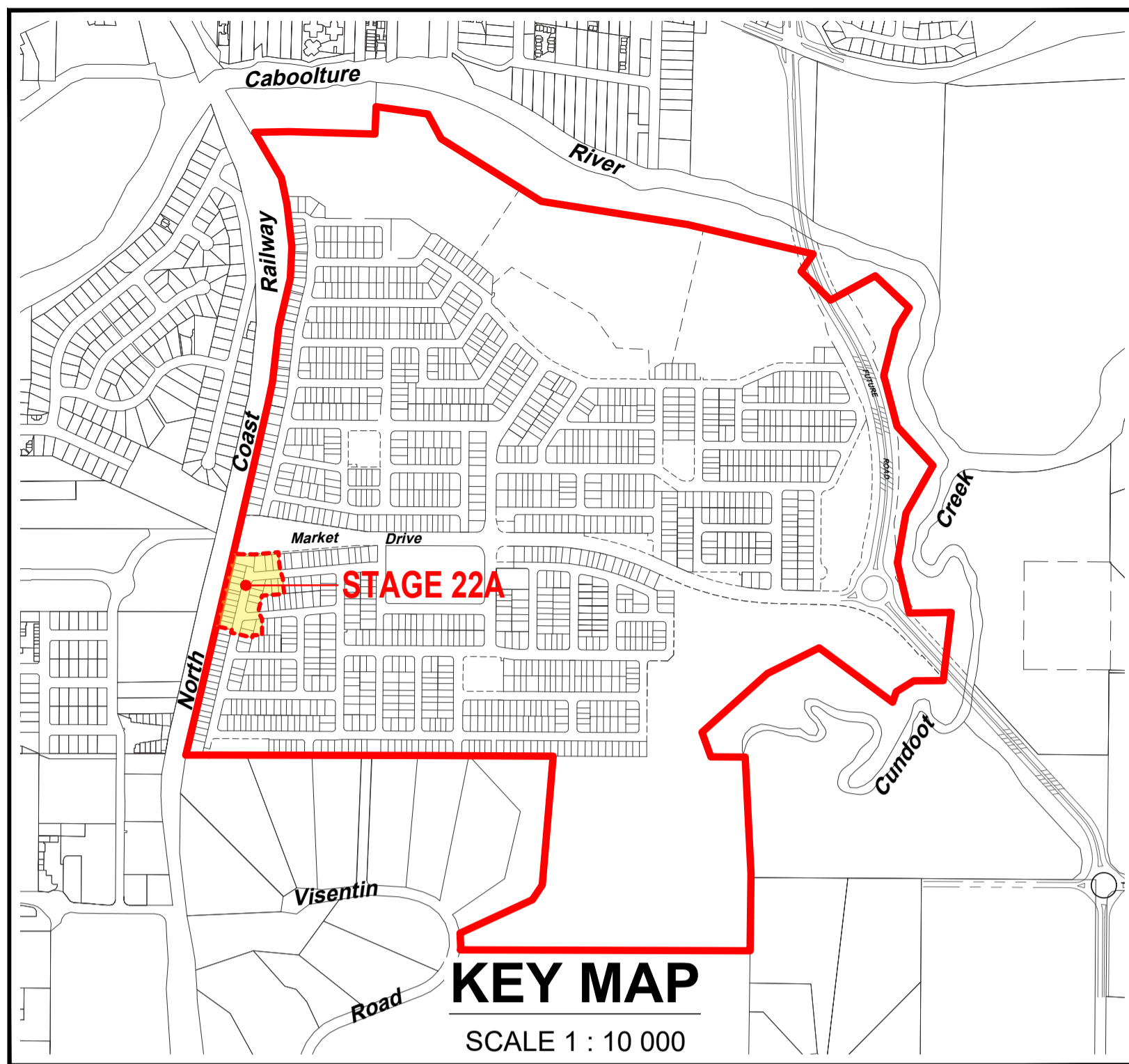
**Note:**  
 All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval.  
 Dimensions have been rounded to the nearest 0.1 metres.  
 Areas have been rounded down to the nearest 5m<sup>2</sup>.  
 The boundaries shown on this plan should not be used for final detailed engineers design.  
**Source Information:**  
 Site boundaries: Wotter Consulting  
 Adjoining information: DCDB  
 Contours: THG

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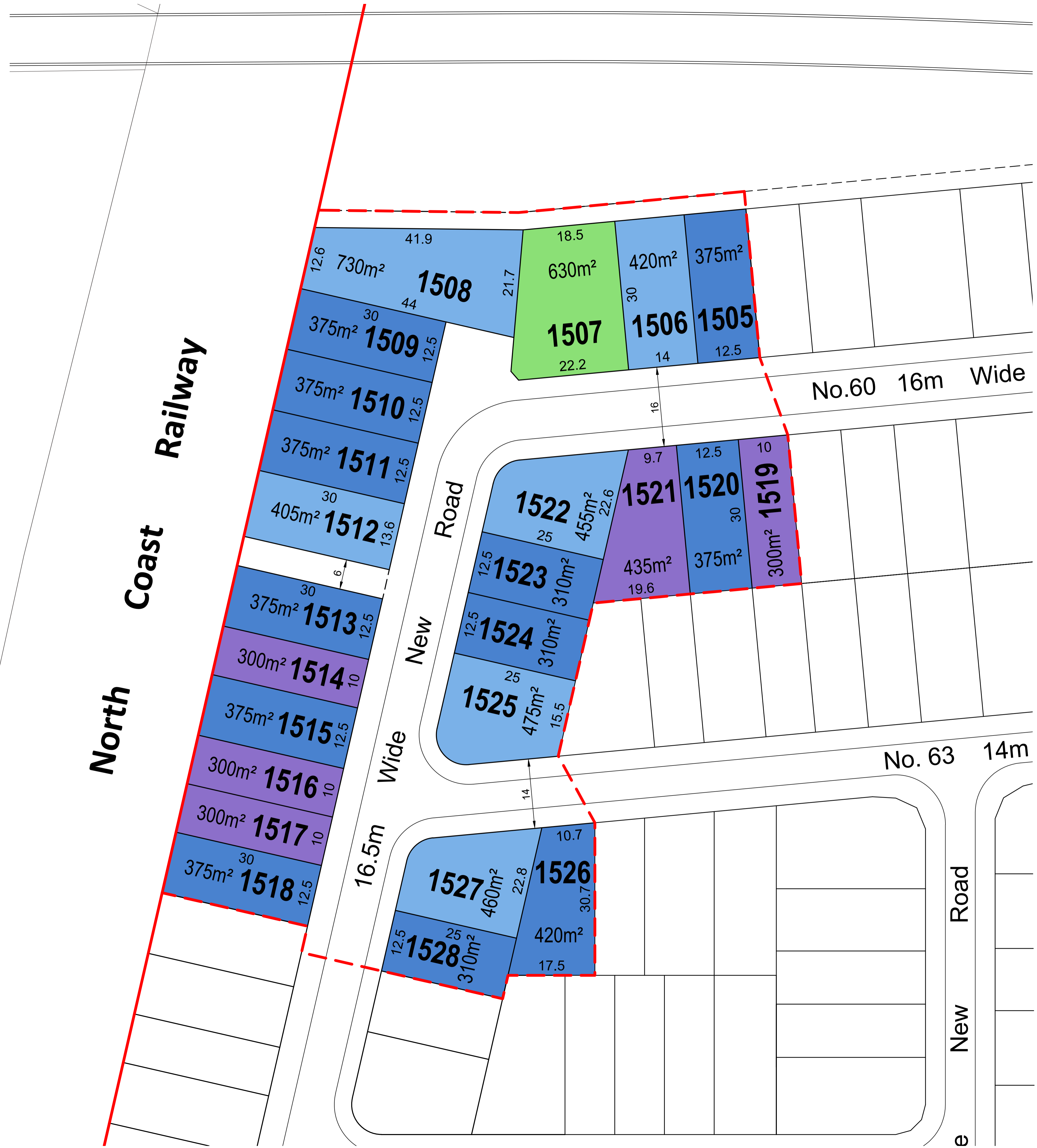
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**MBRC Lot Types**

Lot Type B (>7.5 - 10m) 9.7m, 10m x 30m	5	(20.8%)
Lot Type C (>10 - 12.5m) 10.7m, 12.5m x 25m - 30m	12	(50.0%)
Lot Type D (>12.5 - 18m) 14m, 15m x 30m	6	(25.0%)
Lot Type E (>18 - 32m) 20m x 30m	1	(4.2%)



0 2 4 6 8 10 12 14 1:400 @ A1

**RIVERBANK**

**MBRC LOT TYPE ANALYSIS STAGE 22A**

PLAN REF: 7025 - 303D  
DATE: 31 AUGUST 2022  
CLIENT: PEET  
DRAWN BY: JC  
CHECKED BY: DG

**Legend**

- Site Boundary
- Stage Boundary

**Note:**  
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The boundaries shown on this plan should not be used for final detailed engineers design.  
**Source Information:**  
Site boundaries: Wolter Consulting  
Adjoining information: DCDB  
Contours: THG

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## CONTEXT MBRC LOT TYPE ANALYSIS STAGE 22A

PLAN REF: **7025 - 304**  
Rev No: **D**  
DATE: 31 AUGUST 2022  
CLIENT: PEET  
DRAWN BY: JC  
CHECKED BY: WNW/DG

### MBRC Lot Types

	Lot Type B (>7.5 - 10m) 9.7m, 10m x 30m	5	(20.8%)
	Lot Type C (>10 - 12.5m) 10.7m, 12.5m x 25m - 30m	12	(50.0%)
	Lot Type D (>12.5 - 18m) 14m, 15m x 30m	6	(25.0%)
	Lot Type E (>18 - 32m) 20m x 30m	1	(4.2%)

### Legend

-  Site Boundary
-  Proposed Stage Boundary
-  Balance Lot
-  Proposed Stage

**Note:**  
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Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m<sup>2</sup>.

The boundaries shown on this plan should not be used for final detailed engineers design.

**Source Information:**  
Site boundaries: DCDB  
Adjoining information: DCDB.

# PEET



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