

# DISCLOSURE PLAN

For Proposed Lot 296  
Riverbank - Stage 5A

Currently Described As Part of Lot 1035 on SP328512  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 Finished Surface Contours (0.25m Interval)
  - - - 1.0 Depth of Fill Contours (0.5m Interval)
  - Easement Boundary
  - Kerb Line
  - s Sewer/Sewer Manhole
  - sv Stormwater/Stormwater Manhole
  - rv Roofwater/Roofwater Pit
  - v Kerb Adapter
  - w Water/Water Fitting
  - X Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height
  - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary
  - 1.8m High Timber Fence (Installed by developer)

- Notes:**
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  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by ADG Engineers (Aust) Pty Ltd on 25-11-2024.
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  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

## RIVERBANK

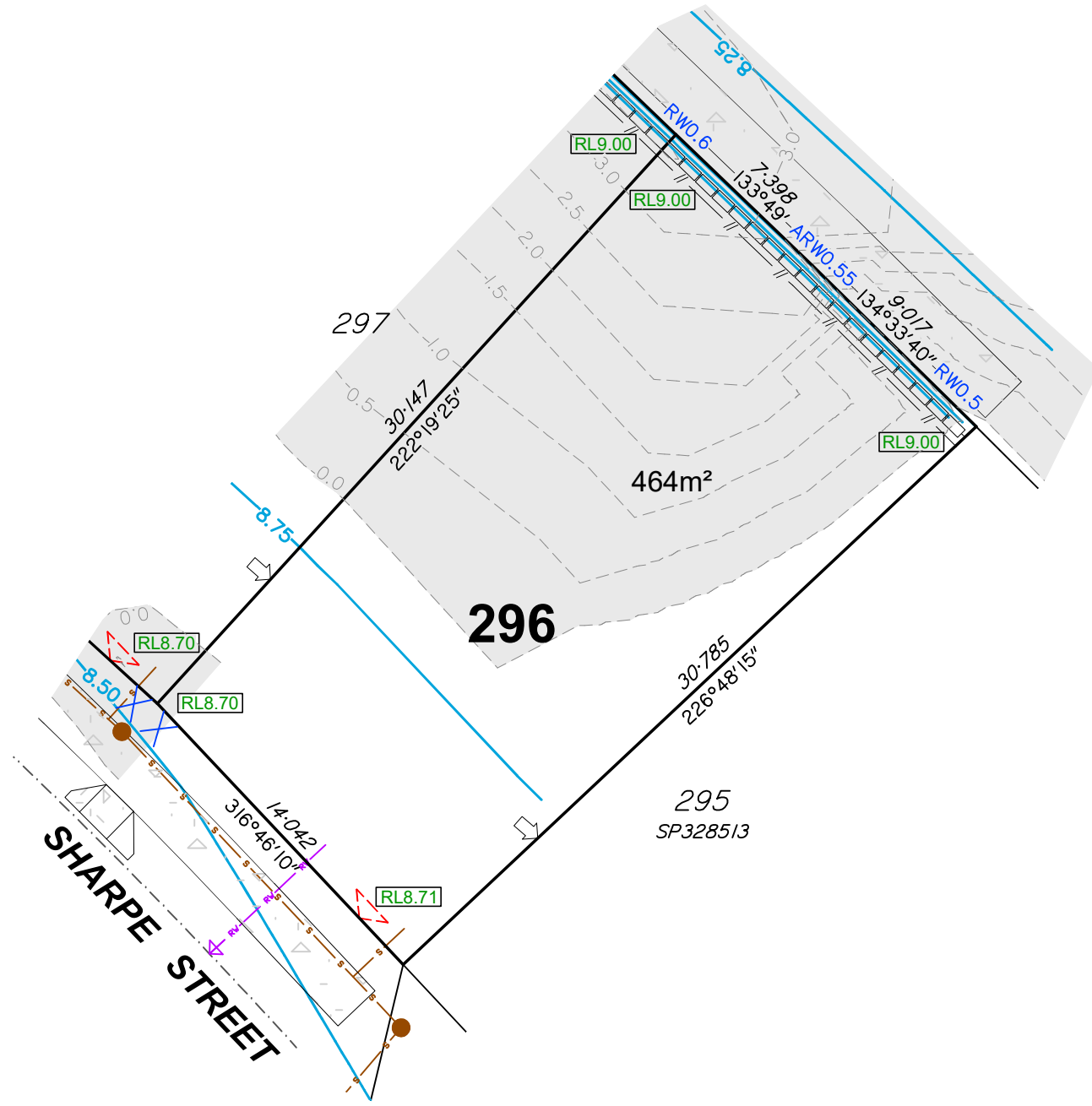


■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying



HORIZONTAL MERIDIAN: MGA  
LEVEL DATUM: AHD.

DATE DRAWN: 10-12-2024  
DRAWING NO.: SB3594\_5A-01-296  
VERSION: A



# DISCLOSURE PLAN

For Proposed Lot 297  
Riverbank - Stage 5A

Currently Described As Part of Lot 1035 on SP328512  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay City

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  - Kerb Adapter
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  - X Water Meter
  - Area to be Filled
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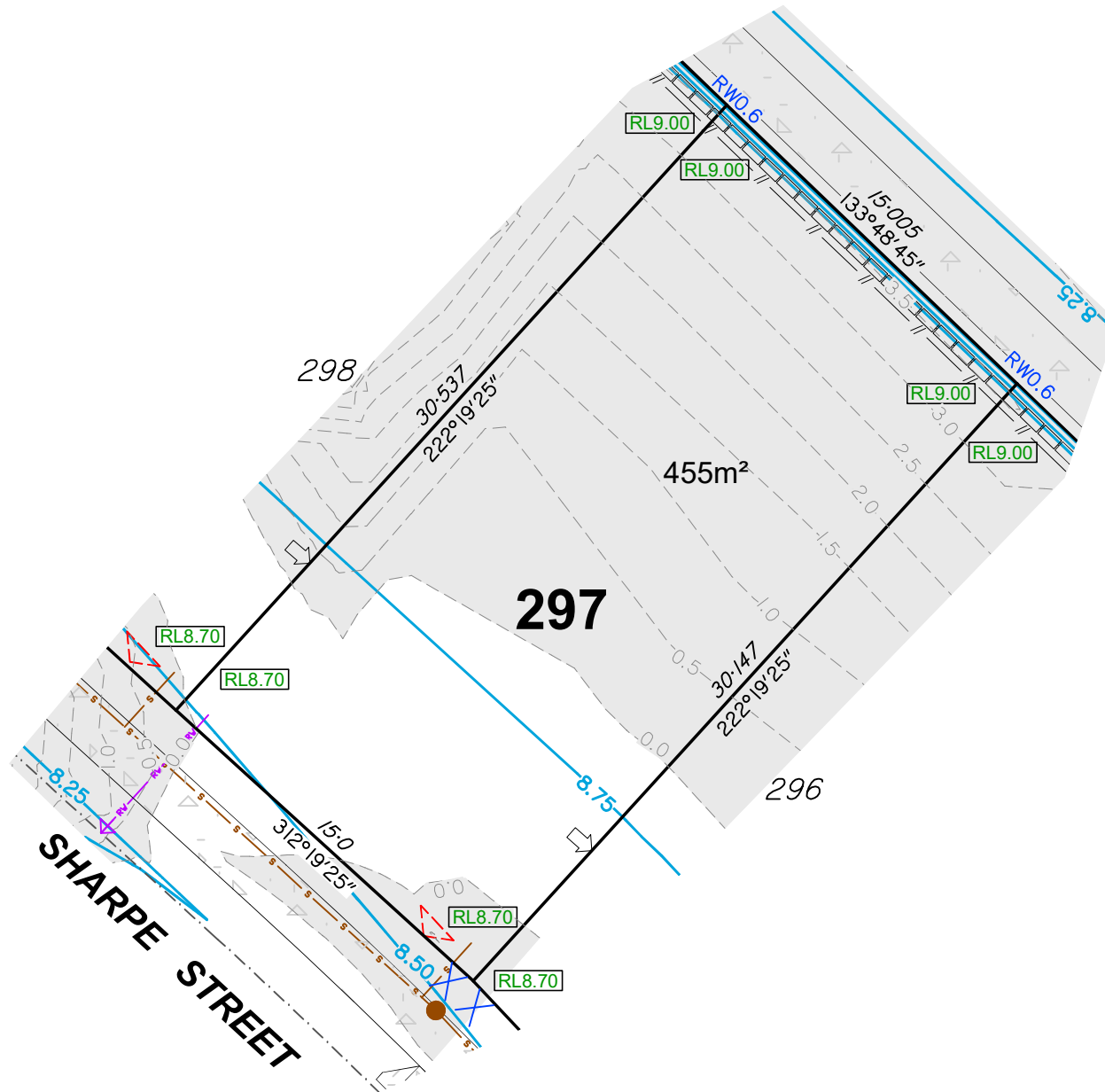


■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying



HORIZONTAL MERIDIAN: MGA  
LEVEL DATUM: AHD.

DATE DRAWN: 10-12-2024  
DRAWING NO.: SB3594\_5A-01-297  
VERSION: A



# DISCLOSURE PLAN

For Proposed Lot 298  
Riverbank - Stage 5A

Currently Described As Part of Lot 1035 on SP328512  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 Finished Surface Contours (0.25m Interval)
  - 1.0 Depth of Fill Contours (0.5m Interval)
  - Easement Boundary
  - Kerb Line
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - Roofwater/Roofwater Pit
  - Kerb Adapter
  - Water/Water Fitting
  - Water Meter
  - Area to be Filled
  - Design Pad Level
  - Retaining Wall
  - Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the lowerside of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary
  - 1.8m High Timber Fence (Installed by developer)

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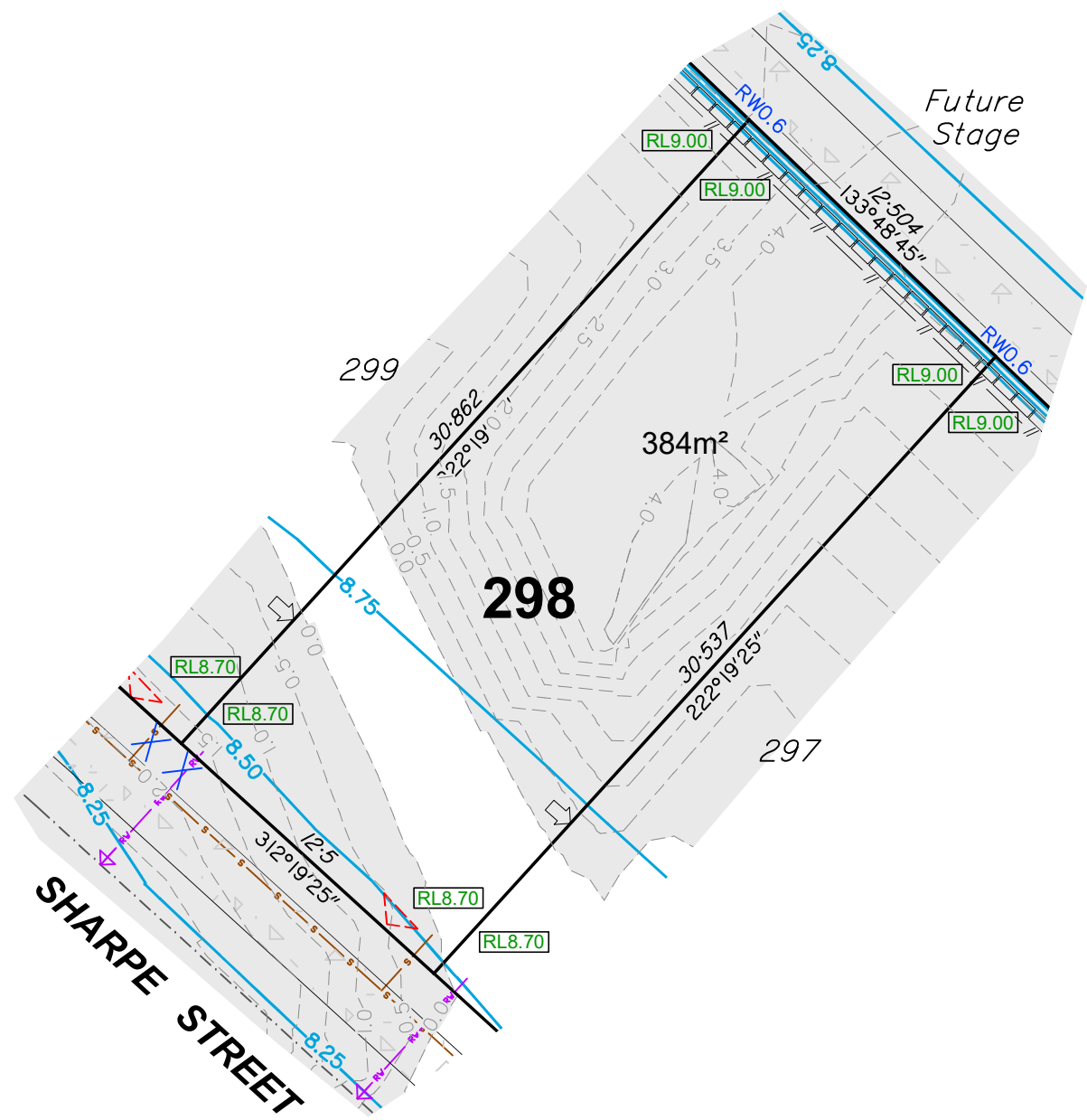


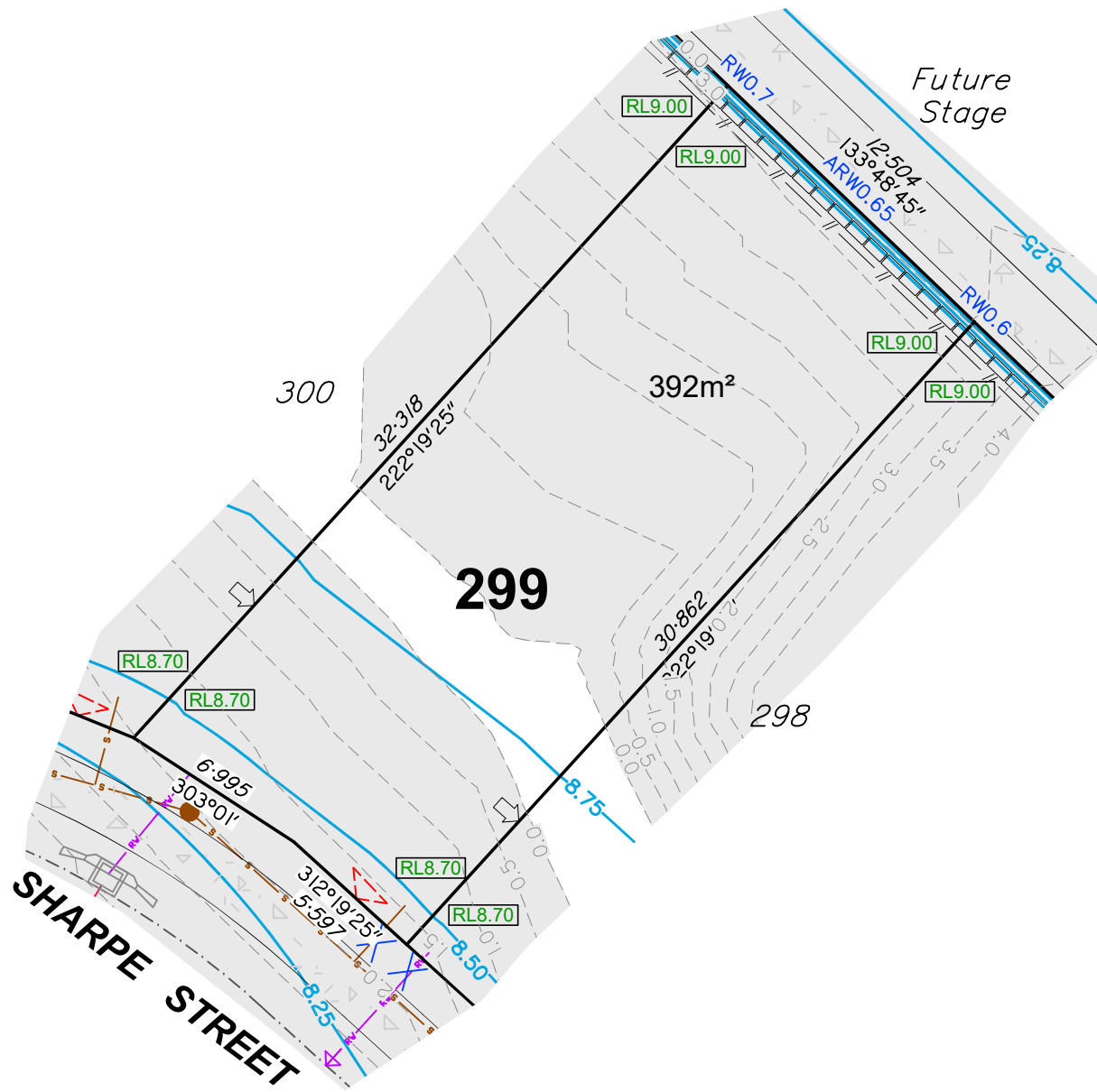
- Planning
- Urban Design
- Landscape
- Environment
- Surveying



HORIZONTAL MERIDIAN MGA      LEVEL DATUM AHD.

DATE DRAWN 10-12-2024      DRAWING NO. SB3594\_5A-01-298      VERSION A





# DISCLOSURE PLAN

For Proposed Lot 299  
Riverbank - Stage 5A

Currently Described As Part of Lot 1035 on SP328512  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay City

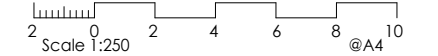
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  - Stormwater Gully Trap
  - rv Roofwater/Roofwater Pit
  - K Kerb Adapter
  - v Water/Water Fitting
  - X Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - RW Retaining Wall
  - RW Retaining Wall Height
  - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
  - > Proposed Driveway
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## RIVERBANK



- Planning
- Urban Design
- Landscape
- Environment
- Surveying



HORIZONTAL MERIDIAN MGA      LEVEL DATUM AHD.

DATE DRAWN 10-12-2024      DRAWING NO. SB3594\_5A-01-299      VERSION A

# DISCLOSURE PLAN

For Proposed Lot 300  
Riverbank - Stage 5A

Currently Described As Part of Lot 1035 on SP328512  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay City

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  - Easement Boundary
  - Kerb Line
  - s Sewer/Sewer Manhole
  - sv Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - rv Roofwater/Roofwater Pit
  - v Kerb Adapter
  - v Water/Water Fitting
  - X Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height
  - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - > Proposed Driveway
  - Zero Lot Line Boundary
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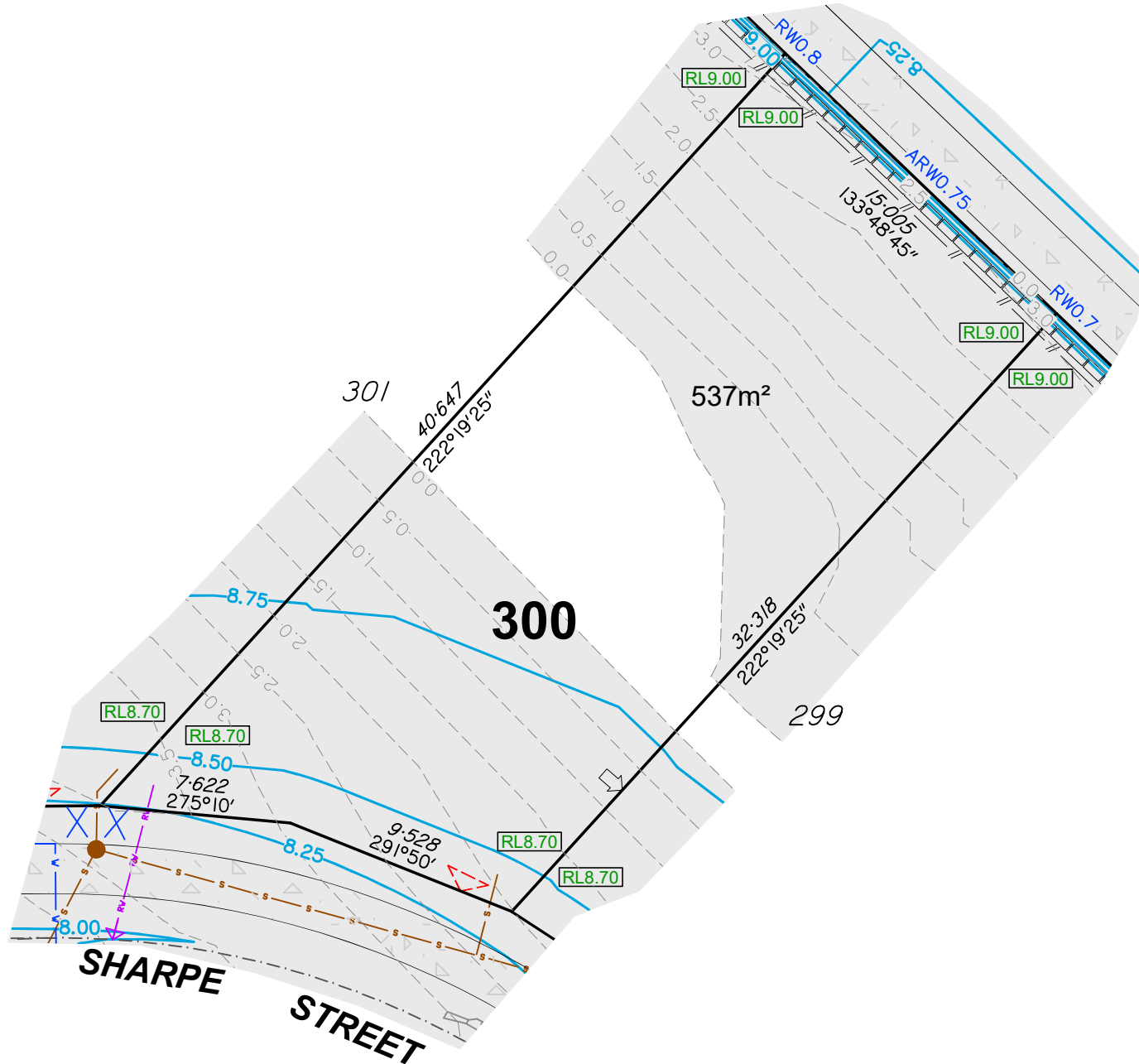


■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying



HORIZONTAL MERIDIAN: MGA  
LEVEL DATUM: AHD.

DATE DRAWN: 10-12-2024  
DRAWING NO.: SB3594\_5A-01-300  
VERSION: A



# DISCLOSURE PLAN

For Proposed Lot 301  
Riverbank - Stage 5A

Currently Described As Part of Lot 1035 on SP328512  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
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  - - - 1.0 Depth of Fill Contours (0.5m Interval)
  - Easement Boundary
  - Kerb Line
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - Roofwater/Roofwater Pit
  - ◀— Kerb Adapter
  - Water/Water Fitting
  - X— Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height
  - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - ▽— Proposed Driveway
  - Zero Lot Line Boundary
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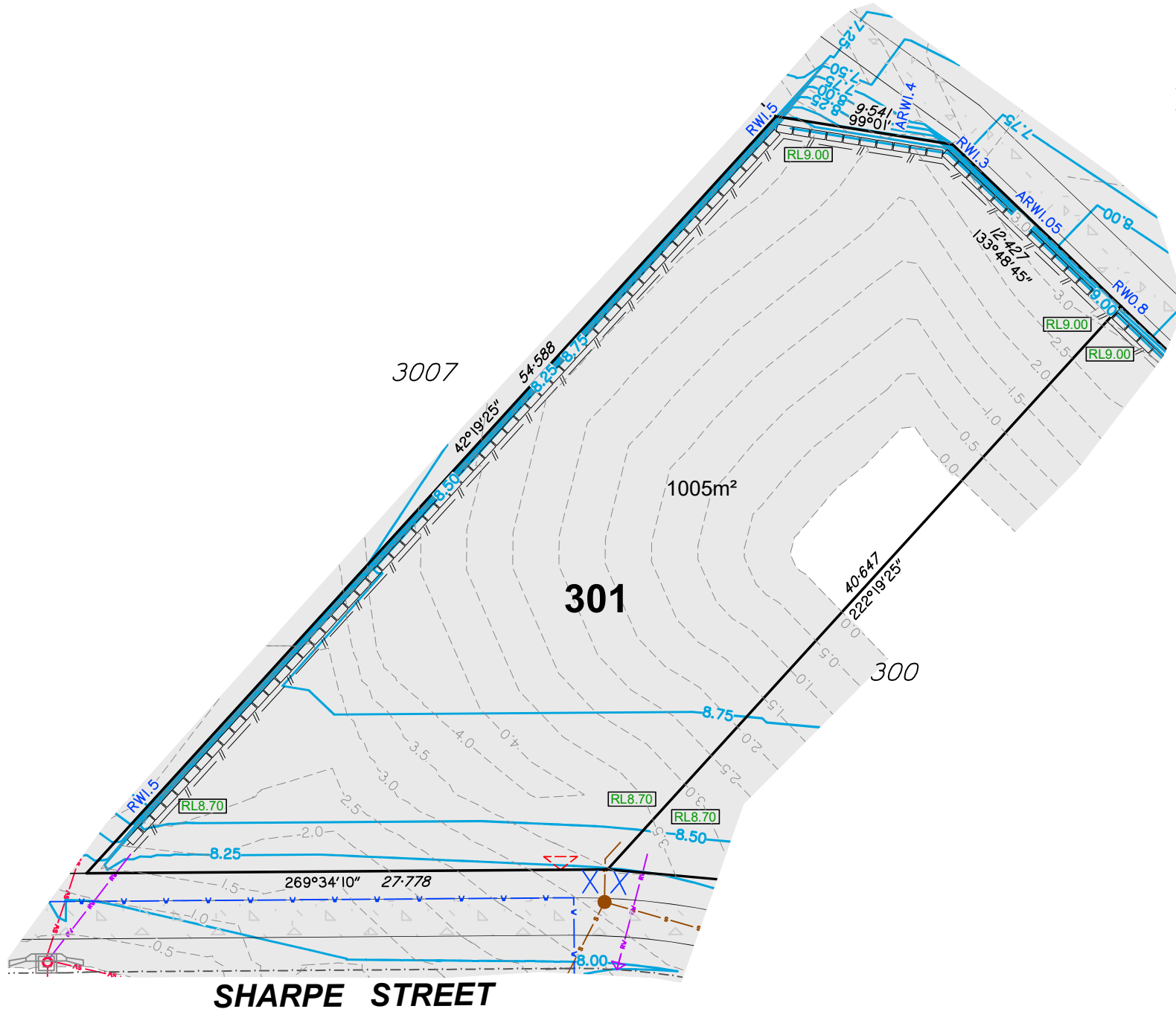


□ Planning 
 □ Urban Design 
 ○ Landscape 
 ○ Environment 
 ▲ Surveying



HORIZONTAL MERIDIAN: MGA  
LEVEL DATUM: AHD.

DATE DRAWN: 10-12-2024  
DRAWING NO.: SB3594\_5A-01-301  
VERSION: A



# DISCLOSURE PLAN

For Proposed Lot 302  
Riverbank - Stage 5A

Currently Described As Part of Lot 1035 on SP328512  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
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  - Depth of Fill Contours (0.5m Interval)
  - Easement Boundary
  - Kerb Line
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - Roofwater/Roofwater Pit
  - Kerb Adapter
  - Water/Water Fitting
  - Water Meter
  - Area to be Filled
  - Design Pad Level
  - Retaining Wall
  - Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary

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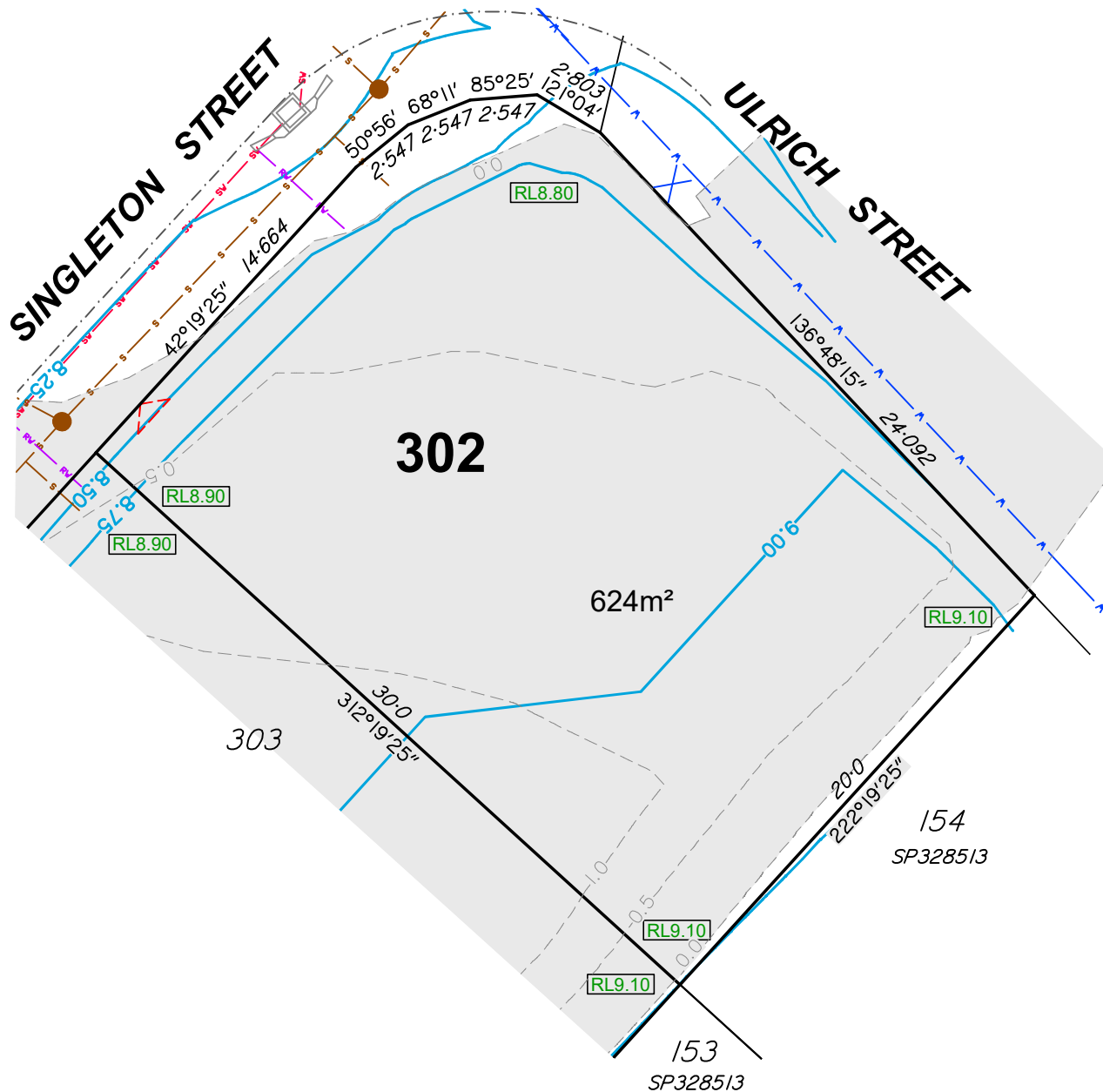


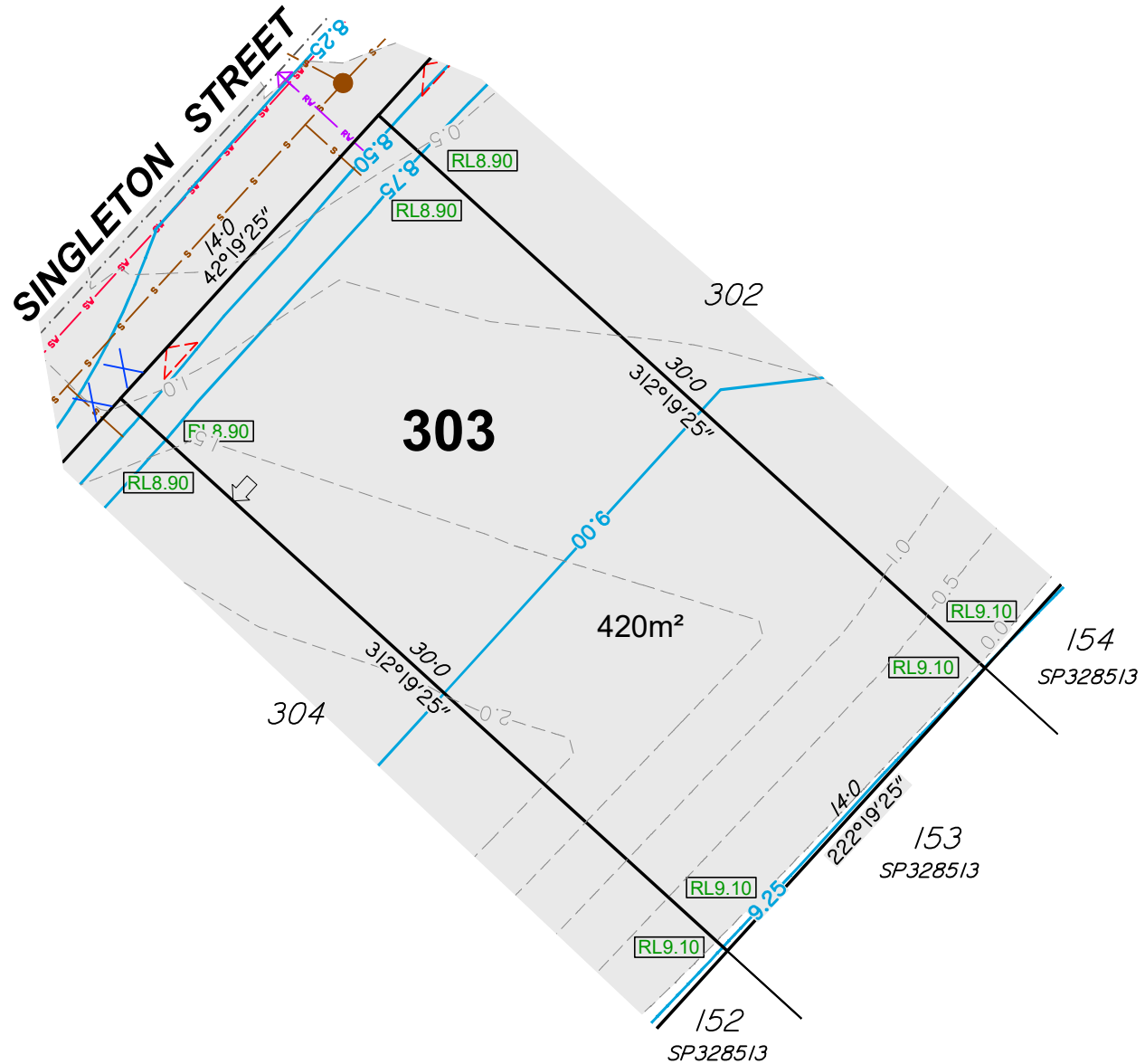
Planning
  Urban Design
  Landscape
  Environment
  Surveying



HORIZONTAL MERIDIAN: MGA  
LEVEL DATUM: AHD.

DATE DRAWN: 10-12-2024  
DRAWING NO.: SB3594\_5A-01-302  
VERSION: A





# DISCLOSURE PLAN

For Proposed Lot 303  
Riverbank - Stage 5A

Currently Described As Part of Lot 1035 on SP328512  
 RPD: Caboolture South  
 Locality: Moreton Bay City  
 Local Authority:

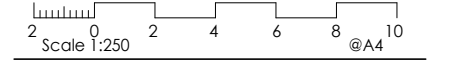
- Legend:**
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  - 1.0 Depth of Fill Contours (0.5m Interval)
  - Easement Boundary
  - Kerb Line
  - S Sewer/Sewer Manhole
  - SV Stormwater/Stormwater Manhole
  - RV Roofwater/Roofwater Pit
  - W Kerb Adapter
  - W Water/Water Fitting
  - X Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the lowside of the wall)
  - Proposed Driveway
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- Planning
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- Environment
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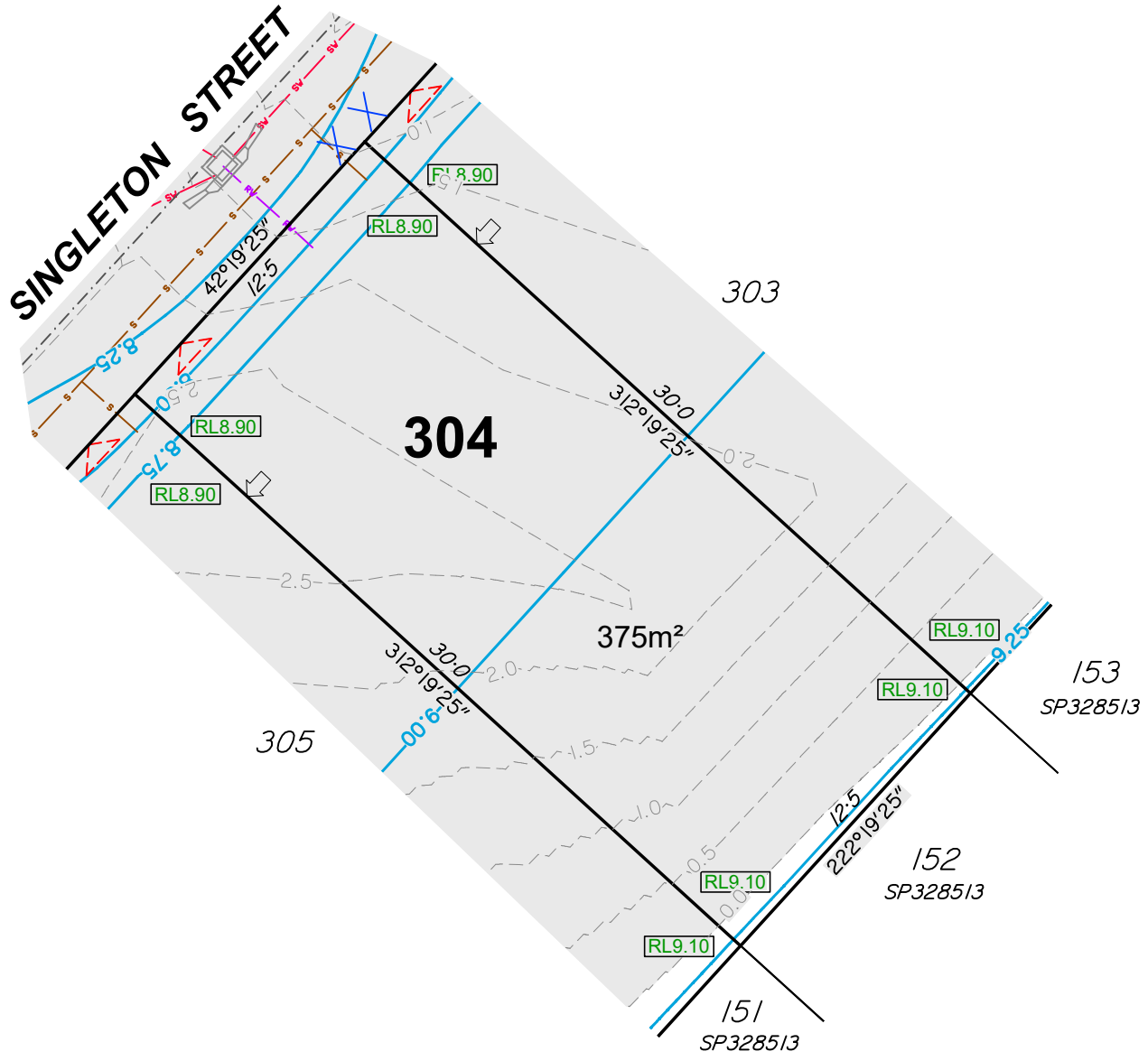


HORIZONTAL MERIDIAN MGA      LEVEL DATUM AHD.

DATE DRAWN 10-12-2024      DRAWING NO. SB3594\_5A-01-303      VERSION A



**SINGLETON STREET**



# DISCLOSURE PLAN

For Proposed Lot 304  
Riverbank - Stage 5A

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Locality: Caboolture South  
Local Authority: Moreton Bay City

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  - Easement Boundary
  - Kerb Line
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  - RV Roofwater/Roofwater Pit
  - Water Meter
  - Water/Water Fitting
  - Area to be Filled
  - Design Pad Level
  - Retaining Wall
  - RW ARW Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary

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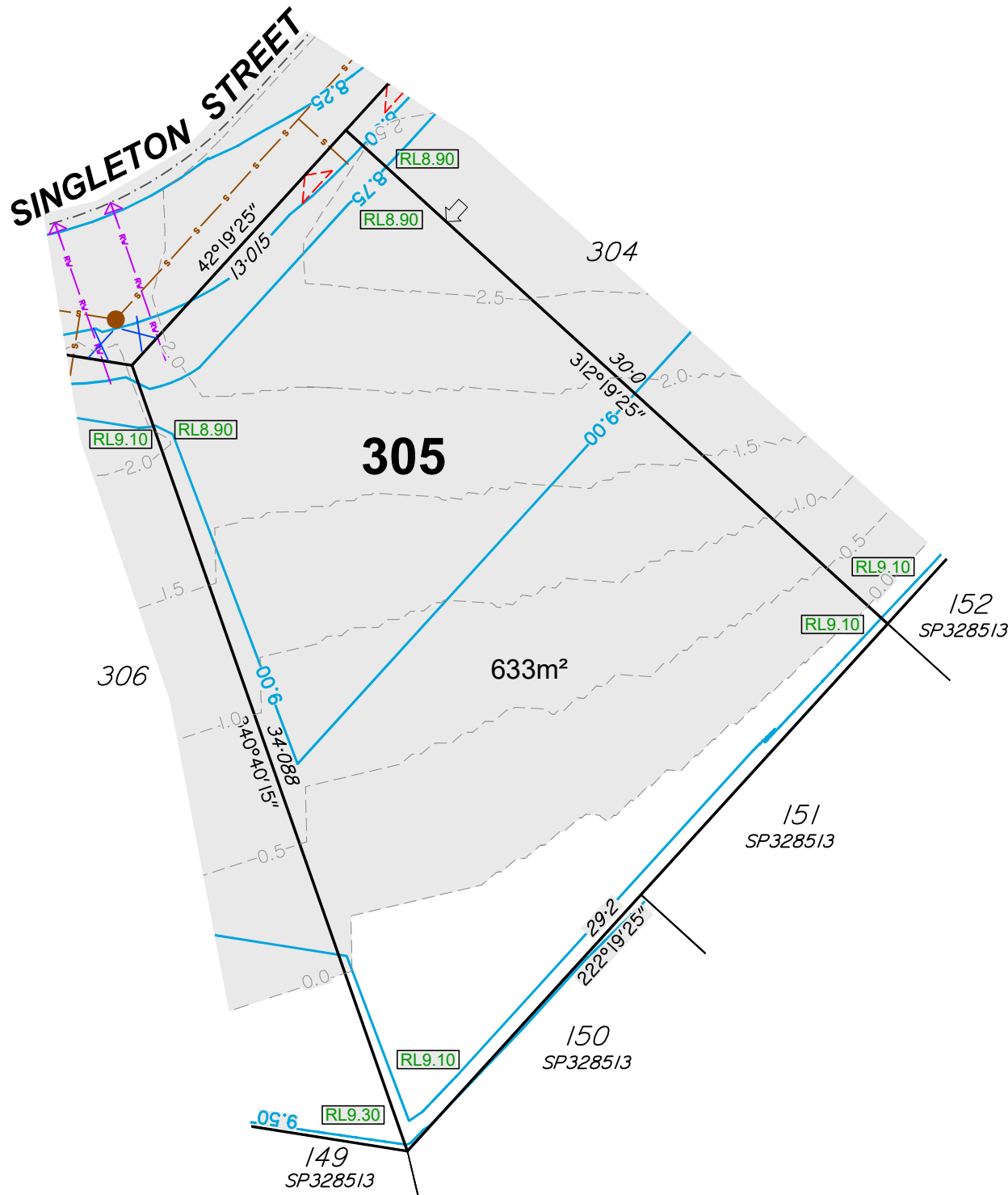


Planning
  Urban Design
  Landscape
  Environment
  Surveying



HORIZONTAL MERIDIAN MGA LEVEL DATUM AHD.

DATE DRAWN 10-12-2024 DRAWING NO. SB3594\_5A-01-304 VERSION A



# DISCLOSURE PLAN

For Proposed Lot 305  
Riverbank - Stage 5A

Currently Described As Part of Lot 1035 on SP328512  
 RPD: Caboolture South  
 Locality: Moreton Bay City  
 Local Authority:

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  - X Water Meter
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Planning
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  Landscape
  Environment
  Surveying



HORIZONTAL MERIDIAN MGA      LEVEL DATUM AHD.

DATE DRAWN 10-12-2024      DRAWING NO. SB3594\_5A-01-305      VERSION A





# DISCLOSURE PLAN

For Proposed Lot 308  
Riverbank - Stage 5A

Currently Described As Part of Lot 1035 on SP328512  
RPD: Caboolture South  
Locality: Moreton Bay City  
Local Authority:

**Legend:**

	Finished Surface Contours (0.25m Interval)
	Depth of Fill Contours (0.5m Interval)
	Easement Boundary
	Kerb Line
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
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	Kerb Adapter
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	Area to be Filled
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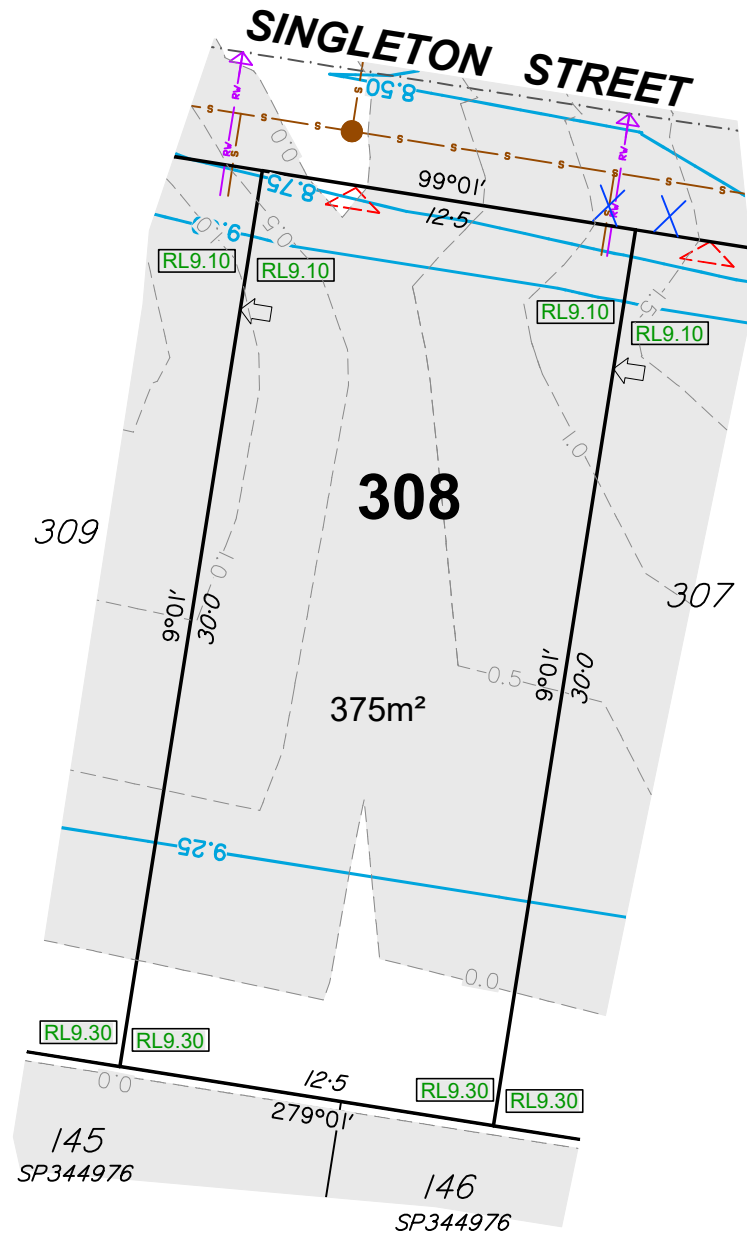


Planning
  Urban Design
  Landscape
  Environment
  Surveying



HORIZONTAL MERIDIAN: MGA  
LEVEL DATUM: AHD.

DATE DRAWN: 10-12-2024  
DRAWING NO.: SB3594\_5A-01-308  
VERSION: A



# DISCLOSURE PLAN

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# RIVERBANK

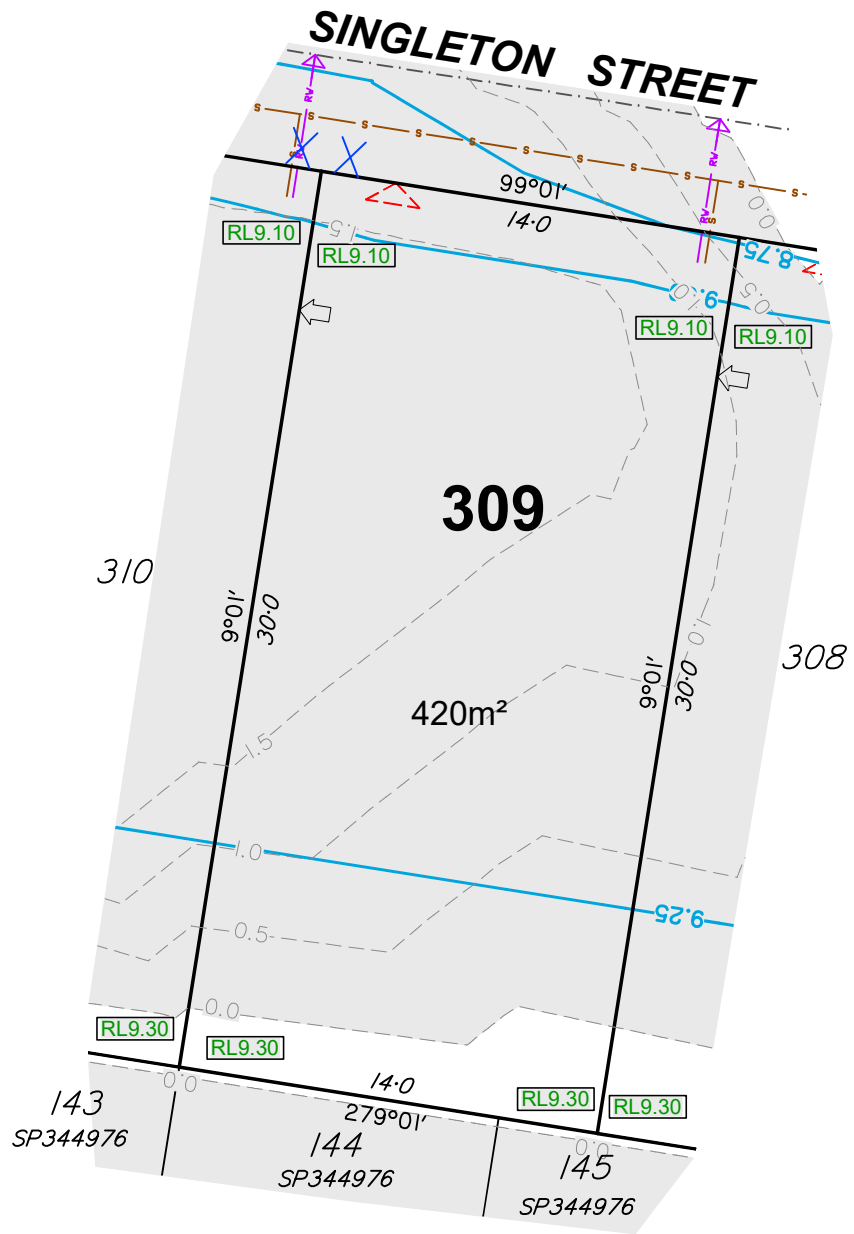


- Planning
- Urban Design
- Landscape
- Environment
- Surveying



HORIZONTAL MERIDIAN: MGA  
 LEVEL DATUM: AHD.

DATE DRAWN: 10-12-2024  
 DRAWING NO.: SB3594\_5A-01-309  
 VERSION: A



# DISCLOSURE PLAN

For Proposed Lot 310  
Riverbank - Stage 5A

Currently Described As Part of Lot 1035 on SP328512  
RPD: Caboolture South  
Locality: Moreton Bay City  
Local Authority:

**Legend:**

	Finished Surface Contours (0.25m Interval)
	Depth of Fill Contours (0.5m Interval)
	Easement Boundary
	Kerb Line
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary

- Notes:**
- This note is an integral part of this plan.
  - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by ADG Engineers (Aust) Pty Ltd on 25-11-2024.
  - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  - This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
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  - This plan has been prepared by Wolter Consulting Group, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK

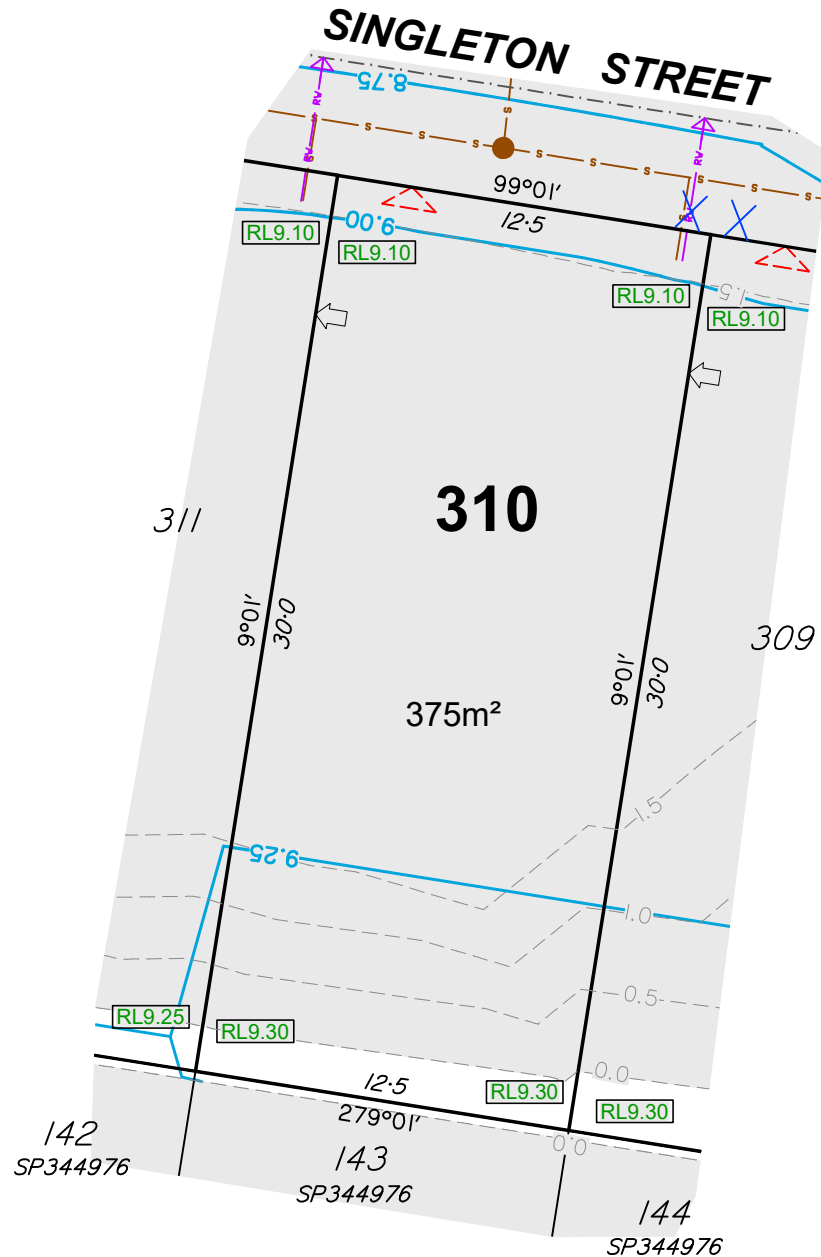


Planning
  Urban Design
  Landscape
  Environment
  Surveying



HORIZONTAL MERIDIAN: MGA  
LEVEL DATUM: AHD.

DATE DRAWN: 10-12-2024  
DRAWING NO.: SB3594\_5A-01-310  
VERSION: A



# DISCLOSURE PLAN

For Proposed Lot 311  
Riverbank - Stage 5A

Currently Described As Part of Lot 1035 on SP328512  
RPD: Caboolture South  
Locality: Moreton Bay City  
Local Authority:

**Legend:**

	Finished Surface Contours (0.25m Interval)
	Depth of Fill Contours (0.5m Interval)
	Easement Boundary
	Kerb Line
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary

**Notes:**

- This note is an integral part of this plan.
- Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by ADG Engineers (Aust) Pty Ltd on 25-11-2024.
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# RIVERBANK

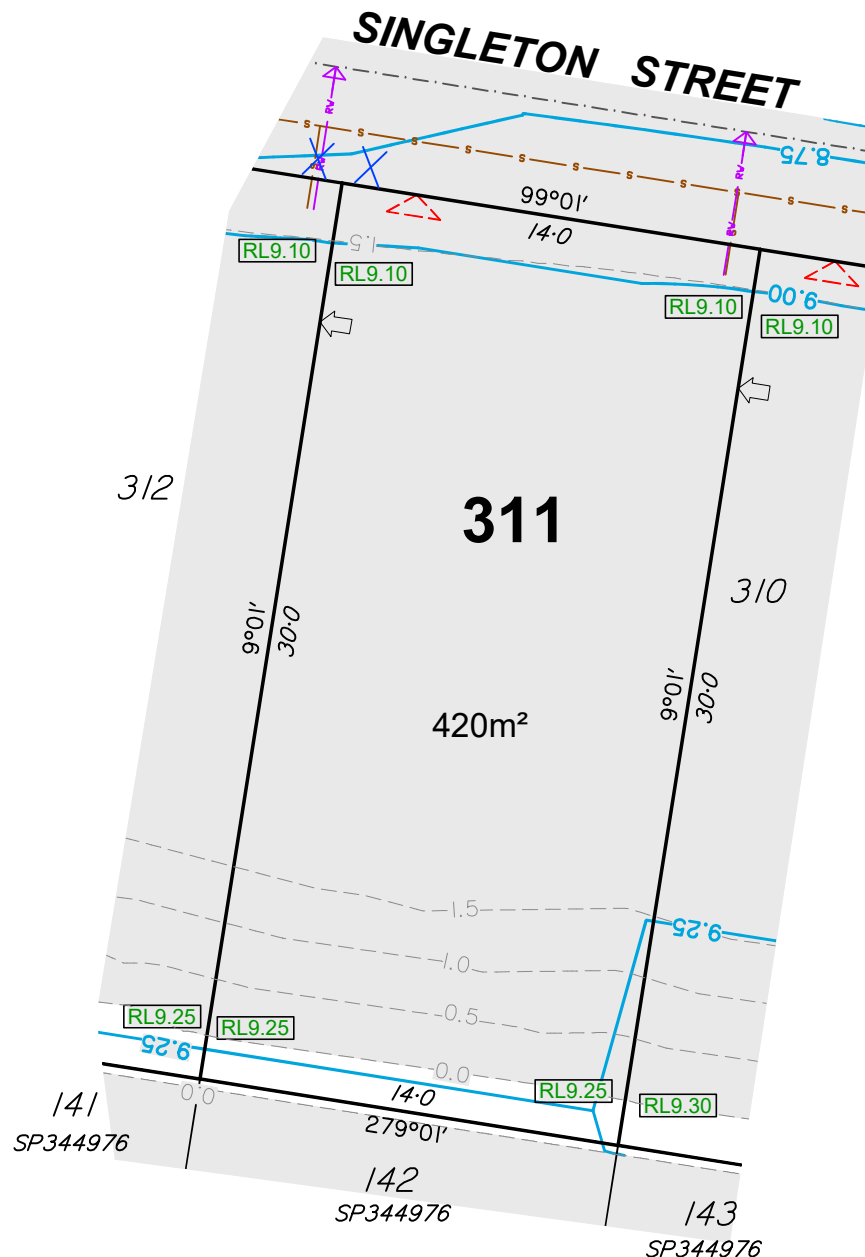


Planning
 Urban Design
 Landscape
 Environment
 Surveying



HORIZONTAL MERIDIAN: MGA  
LEVEL DATUM: AHD.

DATE DRAWN: 10-12-2024  
DRAWING NO.: SB3594\_5A-01-311  
VERSION: A





# DISCLOSURE PLAN

For Proposed Lot 312  
Riverbank - Stage 5A

Currently Described As Part of Lot 1035 on SP328512  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 Finished Surface Contours (0.25m Interval)
  - 1.0 Depth of Fill Contours (0.5m Interval)
  - Easement Boundary
  - Kerb Line
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - Roofwater/Roofwater Pit
  - Kerb Adapter
  - Water/Water Fitting
  - Water Meter
  - Area to be Filled
  - Design Pad Level
  - Retaining Wall
  - Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the lowside of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary

- Notes:**
- This note is an integral part of this plan.
  - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by ADG Engineers (Aust) Pty Ltd on 25-11-2024.
  - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
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# RIVERBANK

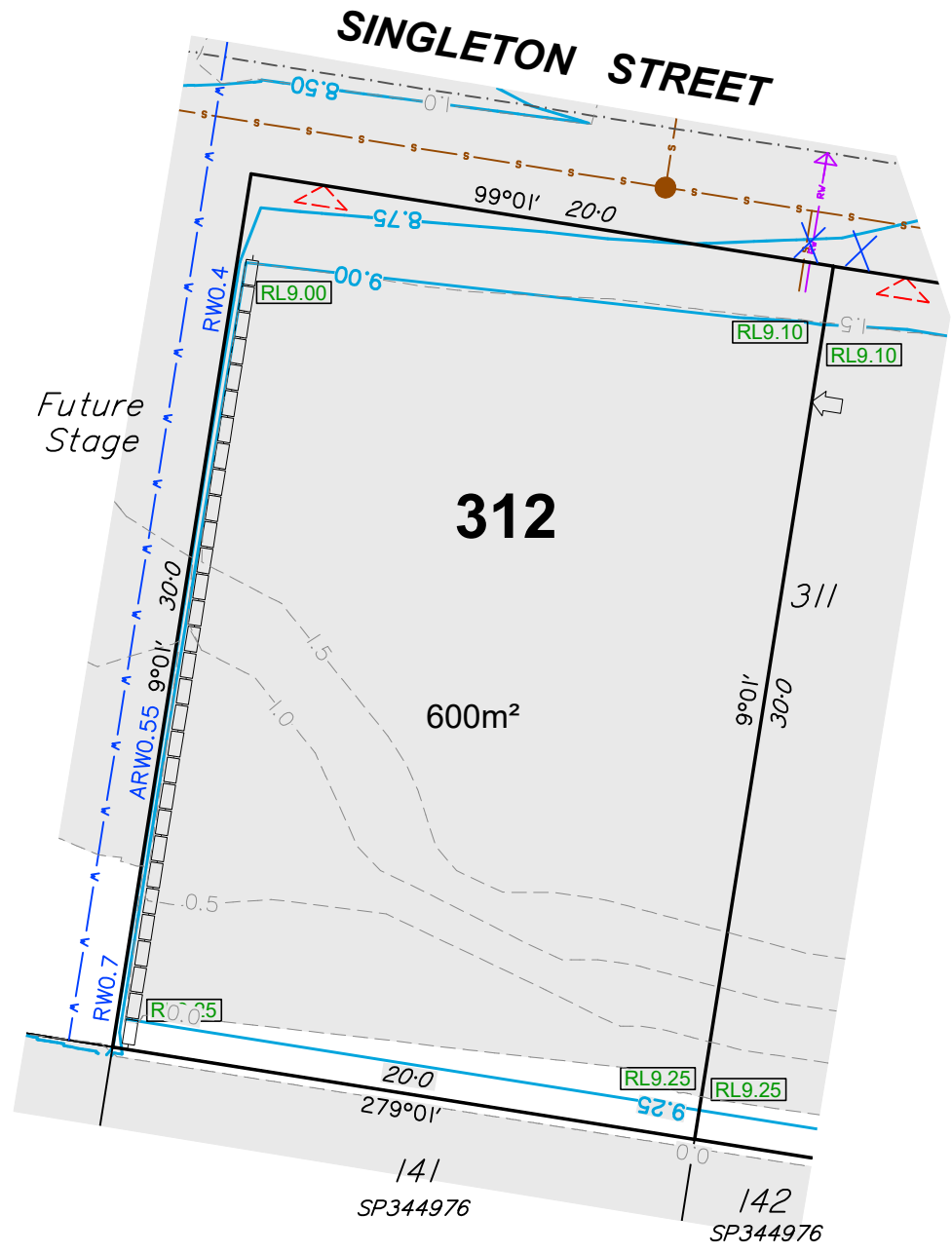


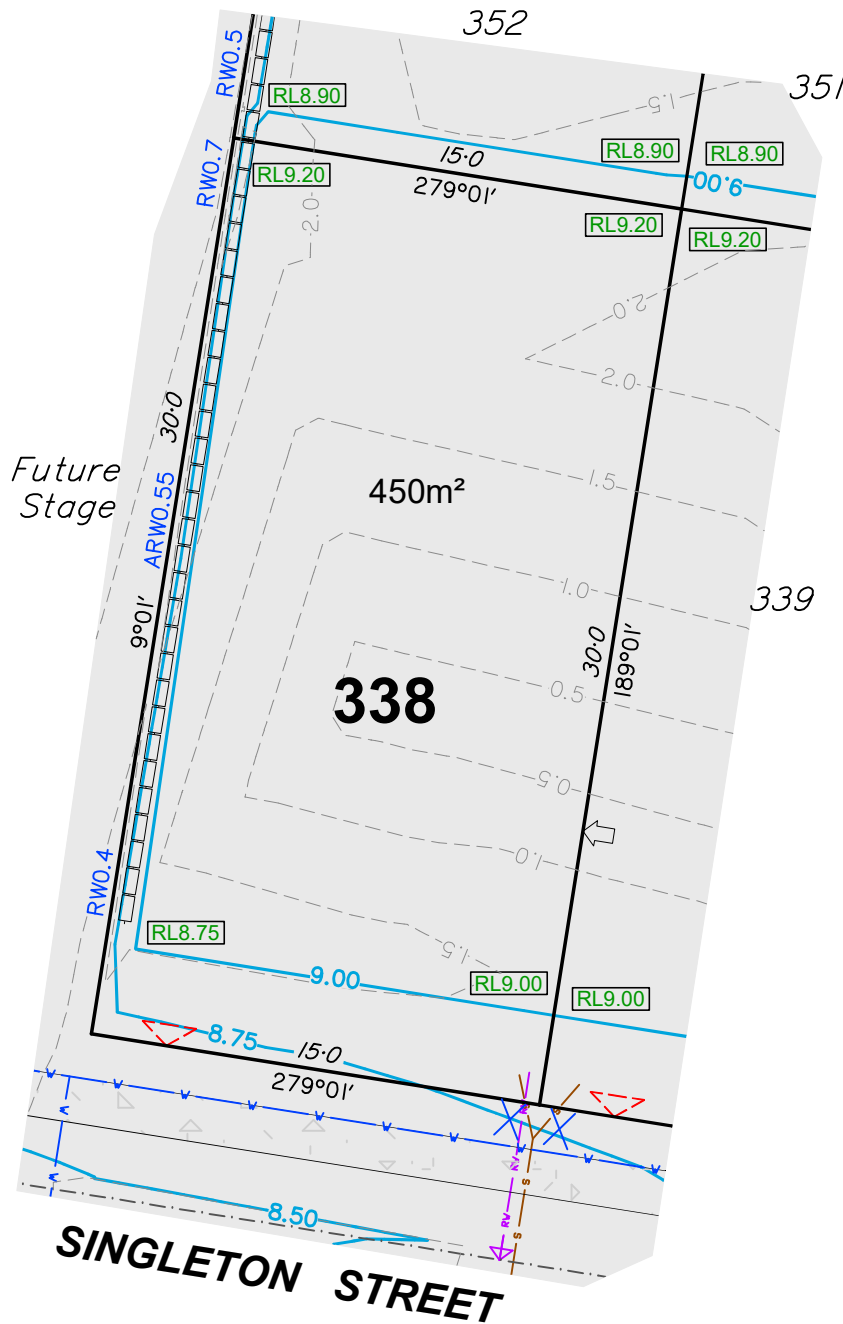
Planning
  Urban Design
  Landscape
  Environment
  Surveying



HORIZONTAL MERIDIAN: MGA  
LEVEL DATUM: AHD.

DATE DRAWN: 10-12-2024  
DRAWING NO.: SB3594\_5A-01-312  
VERSION: A





# DISCLOSURE PLAN

For Proposed Lot 338  
Riverbank - Stage 5A

Currently Described As Part of Lot 1035 on SP328512  
RPD: Caboolture South  
Locality: Moreton Bay City  
Local Authority:

- Legend:**
- 46.0 Finished Surface Contours (0.25m Interval)
  - - - 1.0 Depth of Fill Contours (0.5m Interval)
  - Easement Boundary
  - Kerb Line
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - Roofwater/Roofwater Pit
  - ◀ Kerb Adapter
  - Water/Water Fitting
  - X Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height
  - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - ▽ Proposed Driveway
  - Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by ADG Engineers (Aust) Pty Ltd on 25-11-2024.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

## RIVERBANK

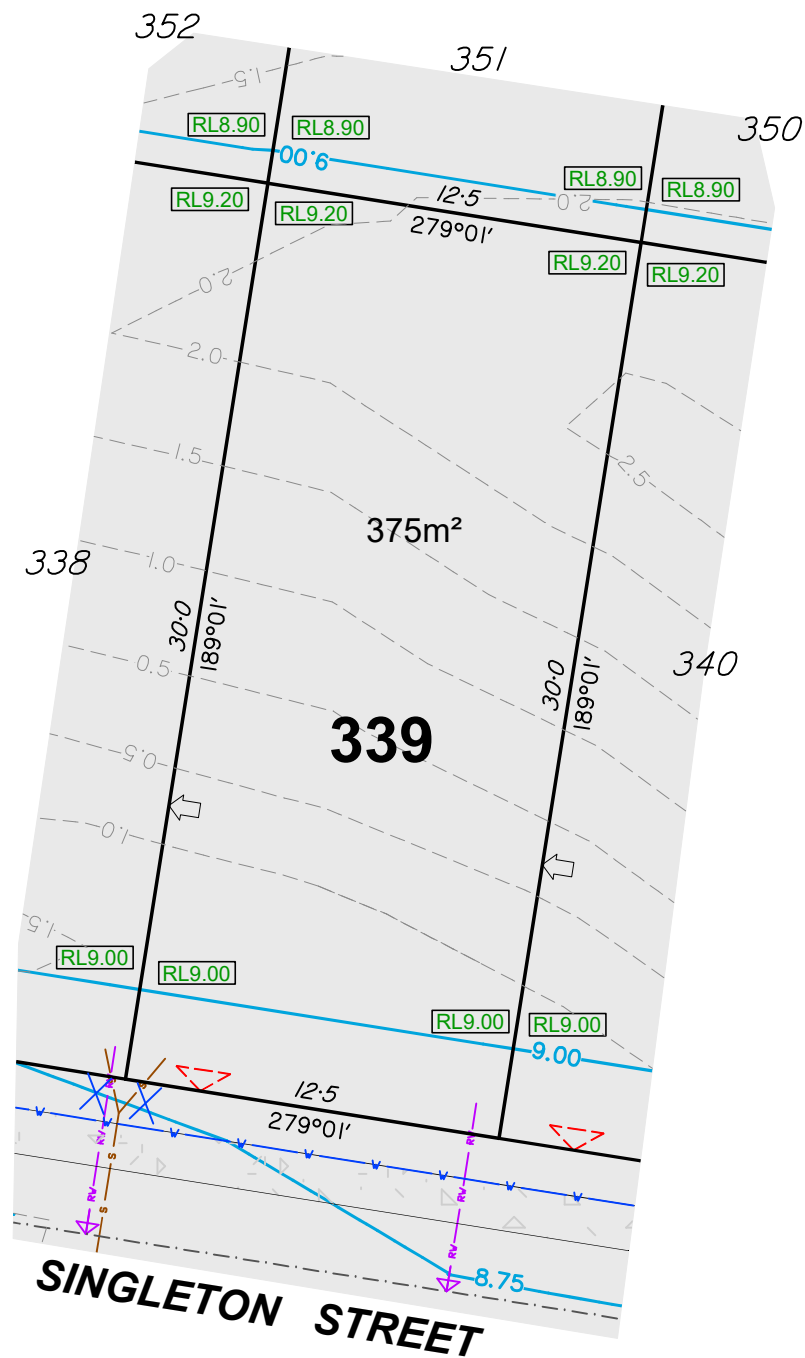


■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying



HORIZONTAL MERIDIAN: MGA  
LEVEL DATUM: AHD.

DATE DRAWN: 10-12-2024  
DRAWING NO.: SB3594\_5A-01-338  
VERSION: A



# DISCLOSURE PLAN

For Proposed Lot 339  
Riverbank - Stage 5A

Currently Described As Part of Lot 1035 on SP328512  
RPD: Caboolture South  
Locality: Moreton Bay City  
Local Authority:

- Legend:**
- 46.0 Finished Surface Contours (0.25m Interval)
  - 1.0 Depth of Fill Contours (0.5m Interval)
  - Easement Boundary
  - Kerb Line
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - Roofwater/Roofwater Pit
  - ◀— Kerb Adapter
  - Water/Water Fitting
  - X— Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the lowside of the wall)
  - ▾ Proposed Driveway
  - Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by ADG Engineers (Aust) Pty Ltd on 25-11-2024.
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## RIVERBANK

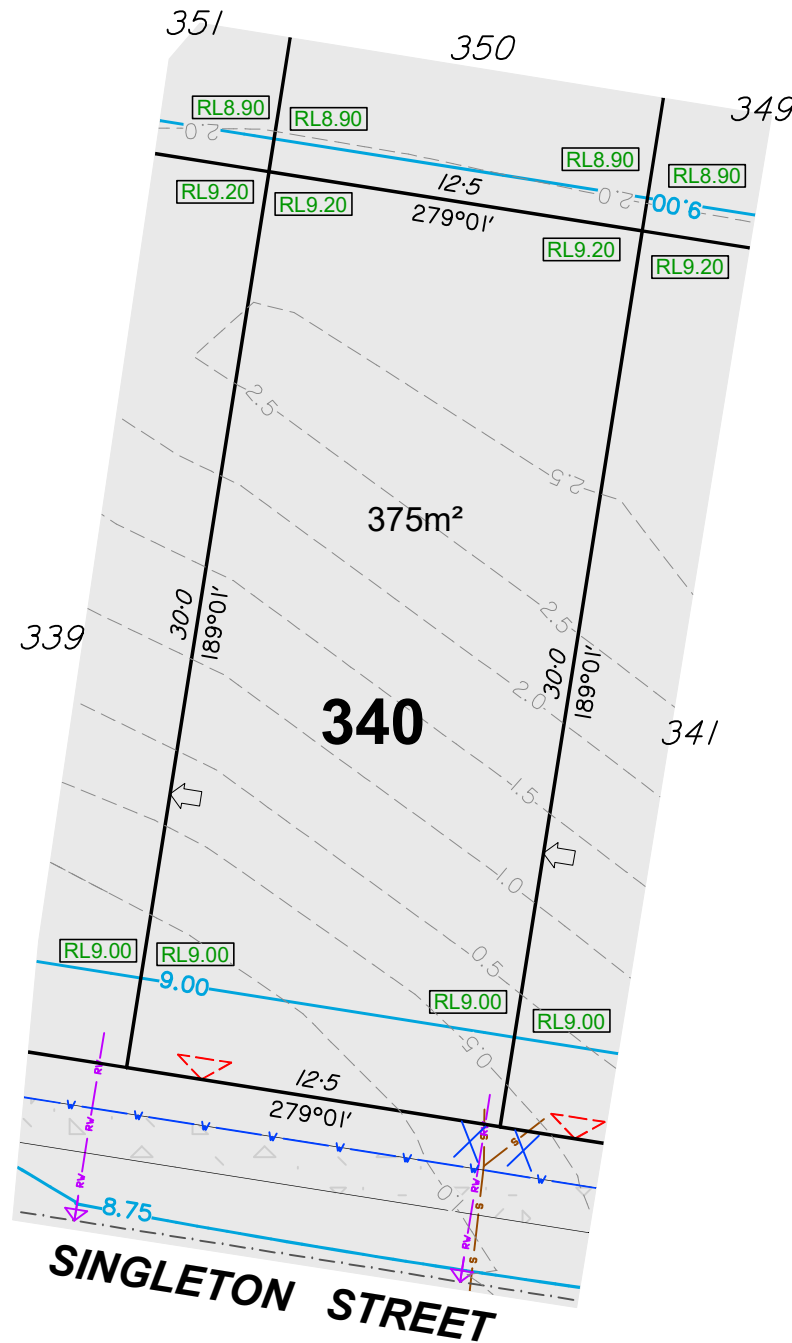


Planning
  Urban Design
  Landscape
  Environment
  Surveying



HORIZONTAL MERIDIAN: MGA  
LEVEL DATUM: AHD.

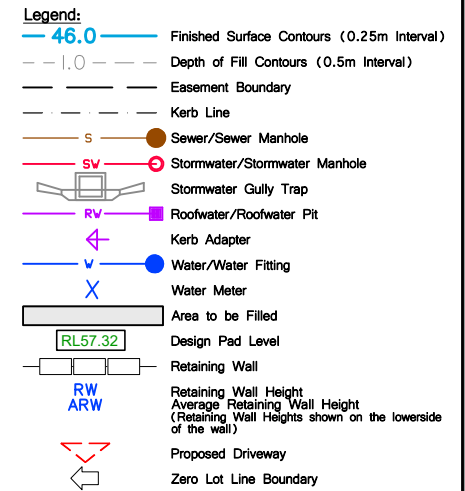
DATE DRAWN 10-12-2024	DRAWING NO. SB3594_5A-01-339	VERSION A
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# DISCLOSURE PLAN

For Proposed Lot 340  
Riverbank - Stage 5A

Currently Described As Part of Lot 1035 on SP328512  
RPD: Caboolture South  
Locality: Moreton Bay City  
Local Authority:



- Notes:**
- This note is an integral part of this plan.
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# RIVERBANK

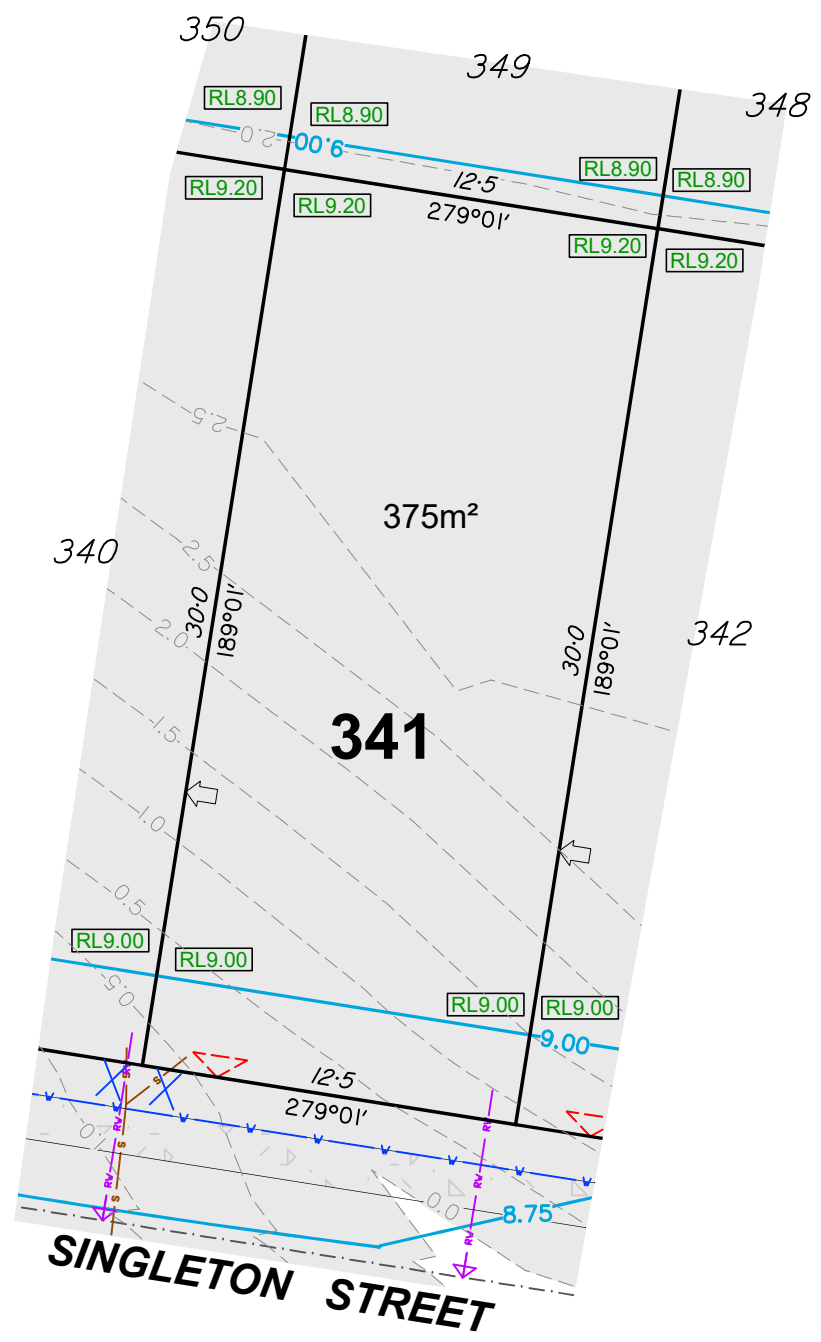


Planning
 Urban Design
 Landscape
 Environment
 Surveying



HORIZONTAL MERIDIAN: MGA  
LEVEL DATUM: AHD.

DATE DRAWN: 10-12-2024  
DRAWING NO.: SB3594\_5A-01-340  
VERSION: A



# DISCLOSURE PLAN

For Proposed Lot 341  
Riverbank - Stage 5A

Currently Described As Part of Lot 1035 on SP328512  
RPD: Caboolture South  
Locality: Moreton Bay City  
Local Authority:

- Legend:**
- 46.0 Finished Surface Contours (0.25m Interval)
  - 1.0 Depth of Fill Contours (0.5m Interval)
  - Easement Boundary
  - Kerb Line
  - S Sewer/Sewer Manhole
  - SV Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - RV Roofwater/Roofwater Pit
  - Kerb Adapter
  - W Water/Water Fitting
  - X Water Meter
  - Area to be Filled
  - RL5.732 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height
  - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by ADG Engineers (Aust) Pty Ltd on 25-11-2024.
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# RIVERBANK

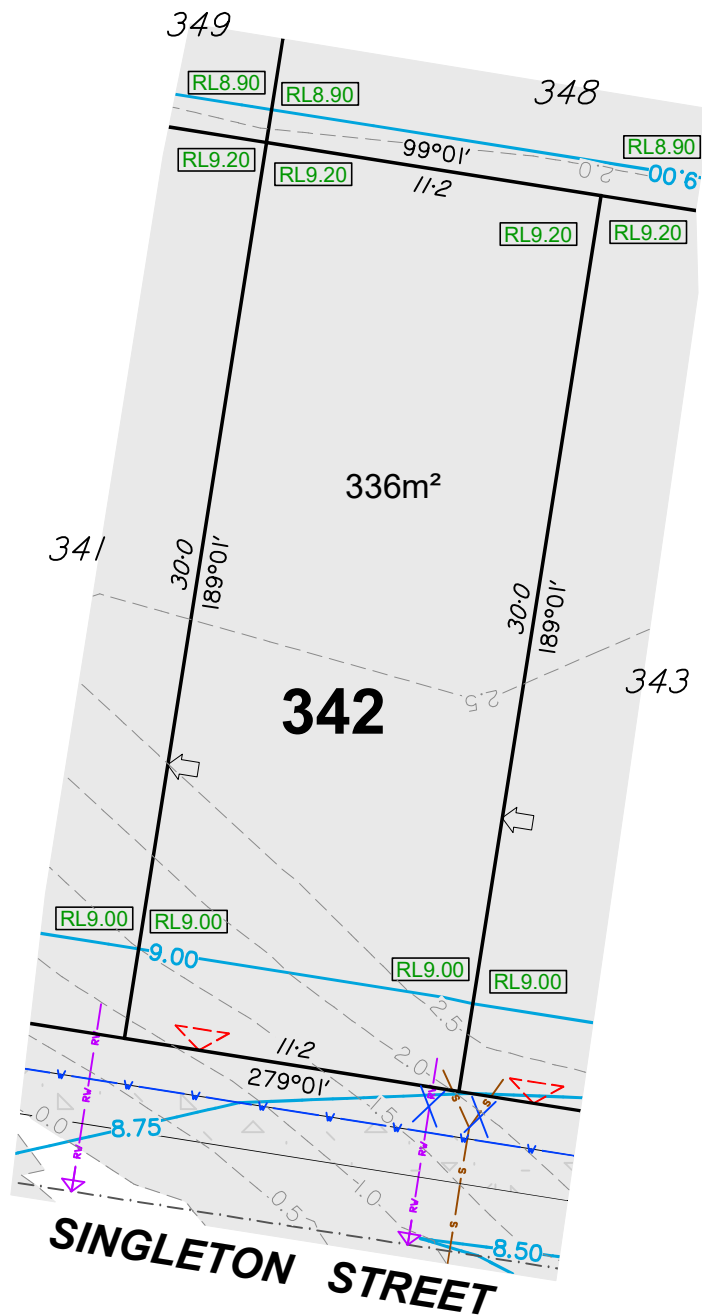


- Planning
- Urban Design
- Landscape
- Environment
- Surveying



HORIZONTAL MERIDIAN MGA      LEVEL DATUM AHD.

DATE DRAWN 10-12-2024      DRAWING NO. SB3594\_5A-01-341      VERSION A



# DISCLOSURE PLAN

For Proposed Lot 342  
Riverbank - Stage 5A

Currently Described As Part of Lot 1035 on SP328512  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- Finished Surface Contours (0.25m Interval)
  - Depth of Fill Contours (0.5m Interval)
  - Easement Boundary
  - Kerb Line
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - Roofwater/Roofwater Pit
  - Kerb Adapter
  - Water/Water Fitting
  - Water Meter
  - Area to be Filled
  - Design Pad Level
  - Retaining Wall
  - Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the lowside of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary

- Notes:**
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# RIVERBANK



Planning
  Urban Design
  Landscape
  Environment
  Surveying



HORIZONTAL MERIDIAN: MGA  
LEVEL DATUM: AHD.

DATE DRAWN: 10-12-2024  
DRAWING NO.: SB3594\_5A-01-342  
VERSION: A

# DISCLOSURE PLAN

For Proposed Lot 343  
Riverbank - Stage 5A

Currently Described As Part of Lot 1035 on SP328512  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- 46.0 Finished Surface Contours (0.25m Interval)
  - - - 1.0 Depth of Fill Contours (0.5m Interval)
  - Easement Boundary
  - Kerb Line
  - S Sewer/Sewer Manhole
  - SV Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - RV Roofwater/Roofwater Pit
  - Kerb Adapter
  - V Water/Water Fitting
  - X Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height
  - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary

**Notes:**

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# RIVERBANK

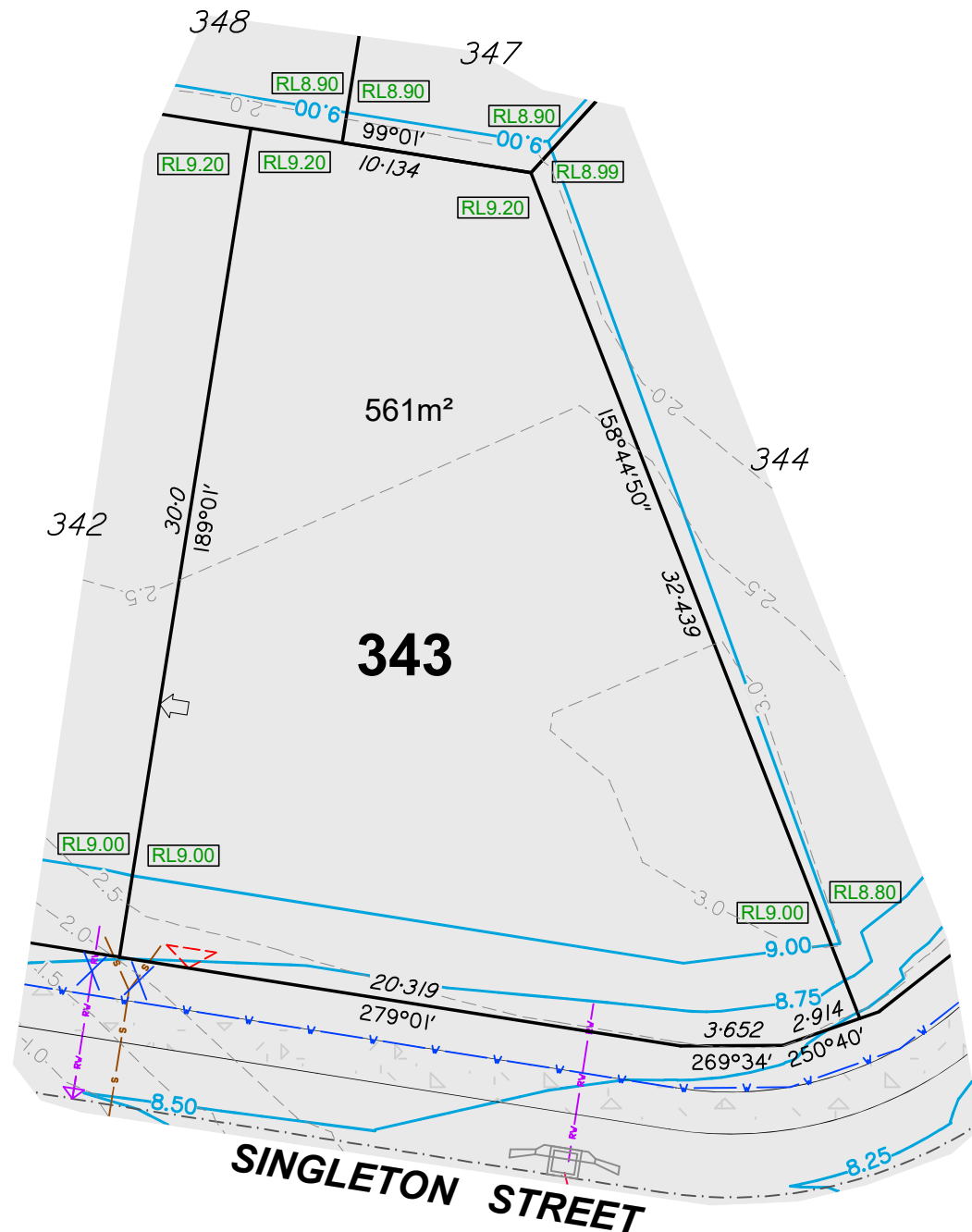


■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying



HORIZONTAL MERIDIAN: MGA  
LEVEL DATUM: AHD.

DATE DRAWN: 10-12-2024  
DRAWING NO.: SB3594\_5A-01-343  
VERSION: A



# DISCLOSURE PLAN

For Proposed Lot 344  
Riverbank - Stage 5A

Currently Described As Part of Lot 1035 on SP328512  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- Finished Surface Contours (0.25m Interval)
  - Depth of Fill Contours (0.5m Interval)
  - Easement Boundary
  - Kerb Line
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - Roofwater/Roofwater Pit
  - Kerb Adapter
  - Water/Water Fitting
  - Water Meter
  - Area to be Filled
  - Design Pad Level
  - Retaining Wall
  - Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the lowside of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary

- Notes:**
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# RIVERBANK

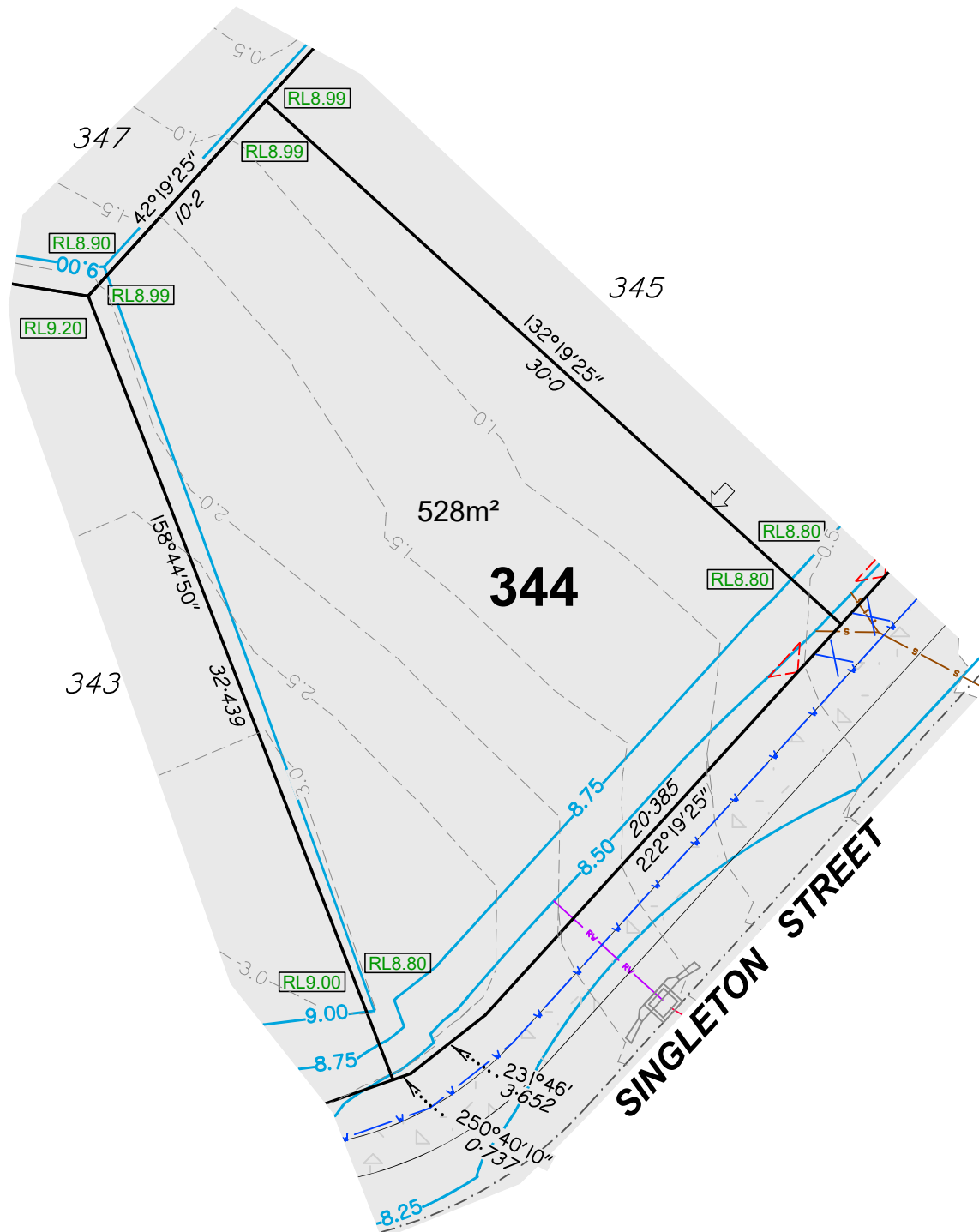


- Planning
- Urban Design
- Landscape
- Environment
- Surveying



HORIZONTAL MERIDIAN MGA      LEVEL DATUM AHD.

DATE DRAWN 10-12-2024      DRAWING NO. SB3594\_5A-01-344      VERSION A





# DISCLOSURE PLAN

For Proposed Lot 345  
Riverbank - Stage 5A

Currently Described As Part of Lot 1035 on SP328512  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- Finished Surface Contours (0.25m Interval)
  - Depth of Fill Contours (0.5m Interval)
  - Easement Boundary
  - Kerb Line
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - Roofwater/Roofwater Pit
  - Kerb Adapter
  - Water/Water Fitting
  - Water Meter
  - Area to be Filled
  - Design Pad Level
  - Retaining Wall
  - Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary

- Notes:**
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# RIVERBANK

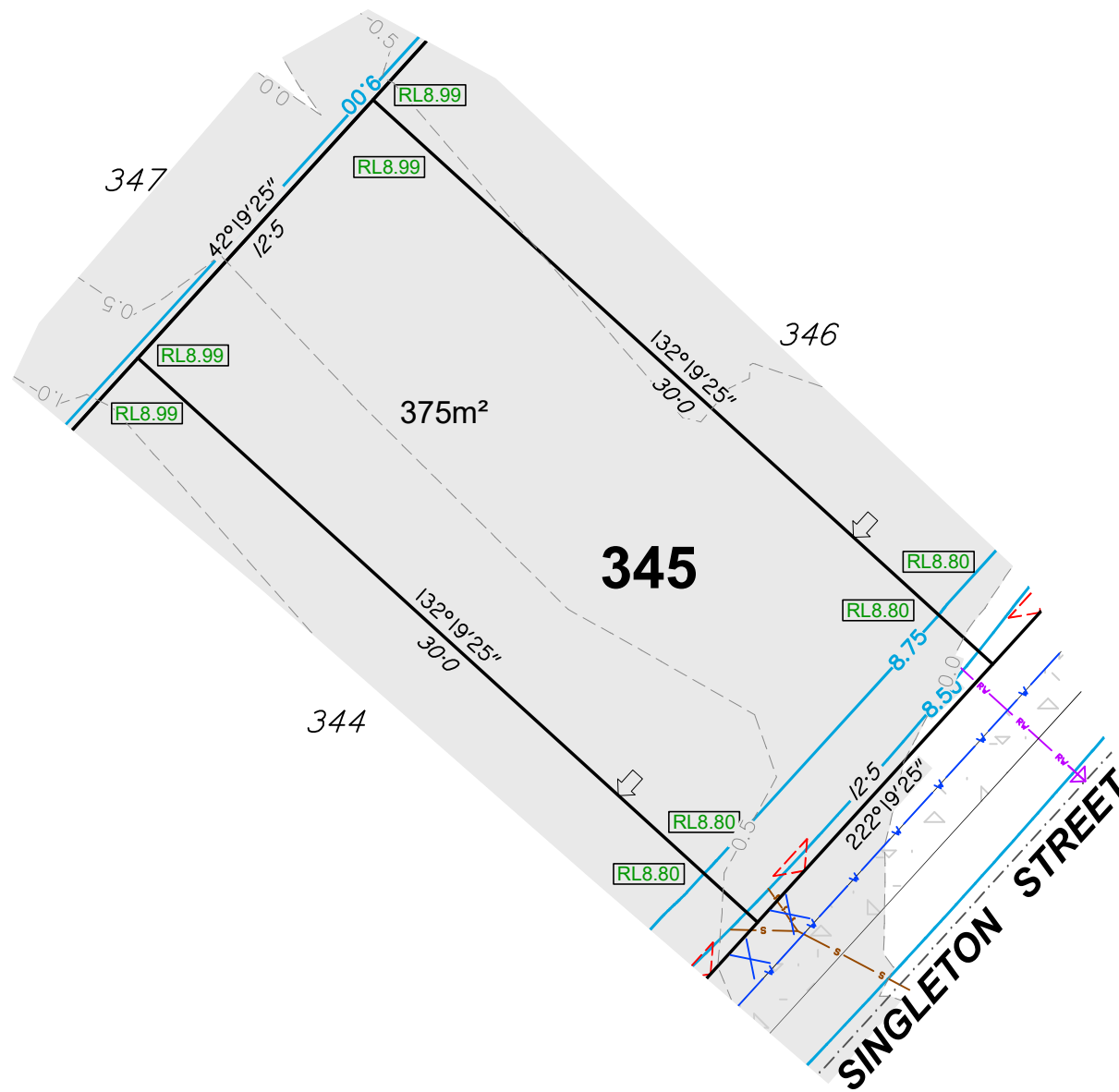


Planning
 Urban Design
 Landscape
 Environment
 Surveying



HORIZONTAL MERIDIAN: MGA  
LEVEL DATUM: AHD.


DATE DRAWN: 10-12-2024  
DRAWING NO.: SB3594\_5A-01-345  
VERSION: A



# DISCLOSURE PLAN

For Proposed Lot 346  
Riverbank - Stage 5A

Currently Described As Part of Lot 1035 on SP328512  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay City

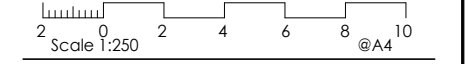
- Legend:**
- 46.0 Finished Surface Contours (0.25m Interval)
  - - - 1.0 Depth of Fill Contours (0.5m Interval)
  - Easement Boundary
  - Kerb Line
  - S Sewer/Sewer Manhole
  - SV Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - RV Roofwater/Roofwater Pit
  - Kerb Adapter
  - Water/Water Fitting
  - X Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - RW Retaining Wall
  - ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the lowside of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary

- Notes:**
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# RIVERBANK

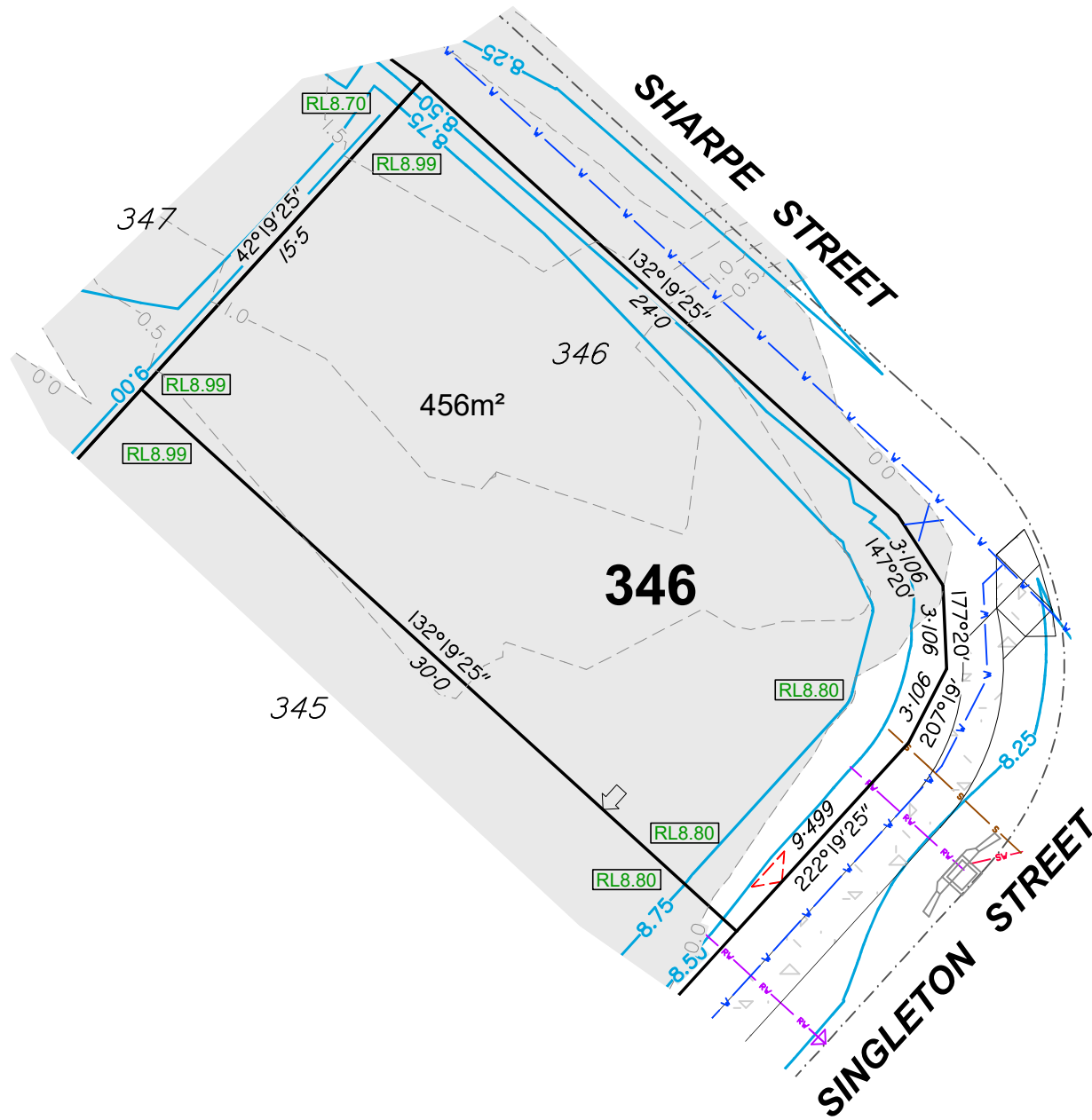


- Planning
- Urban Design
- Landscape
- Environment
- Surveying



HORIZONTAL MERIDIAN MGA      LEVEL DATUM AHD.

DATE DRAWN 10-12-2024      DRAWING NO. SB3594\_5A-01-346      VERSION A



# DISCLOSURE PLAN

For Proposed Lot 347  
Riverbank - Stage 5A

Currently Described As Part of Lot 1035 on SP328512  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay City

- Legend:**
- Finished Surface Contours (0.25m Interval)
  - Depth of Fill Contours (0.5m Interval)
  - Easement Boundary
  - Kerb Line
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - Roofwater/Roofwater Pit
  - Kerb Adapter
  - Water/Water Fitting
  - Water Meter
  - Area to be Filled
  - Design Pad Level
  - Retaining Wall
  - Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the lowside of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by ADG Engineers (Aust) Pty Ltd on 25-11-2024.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK

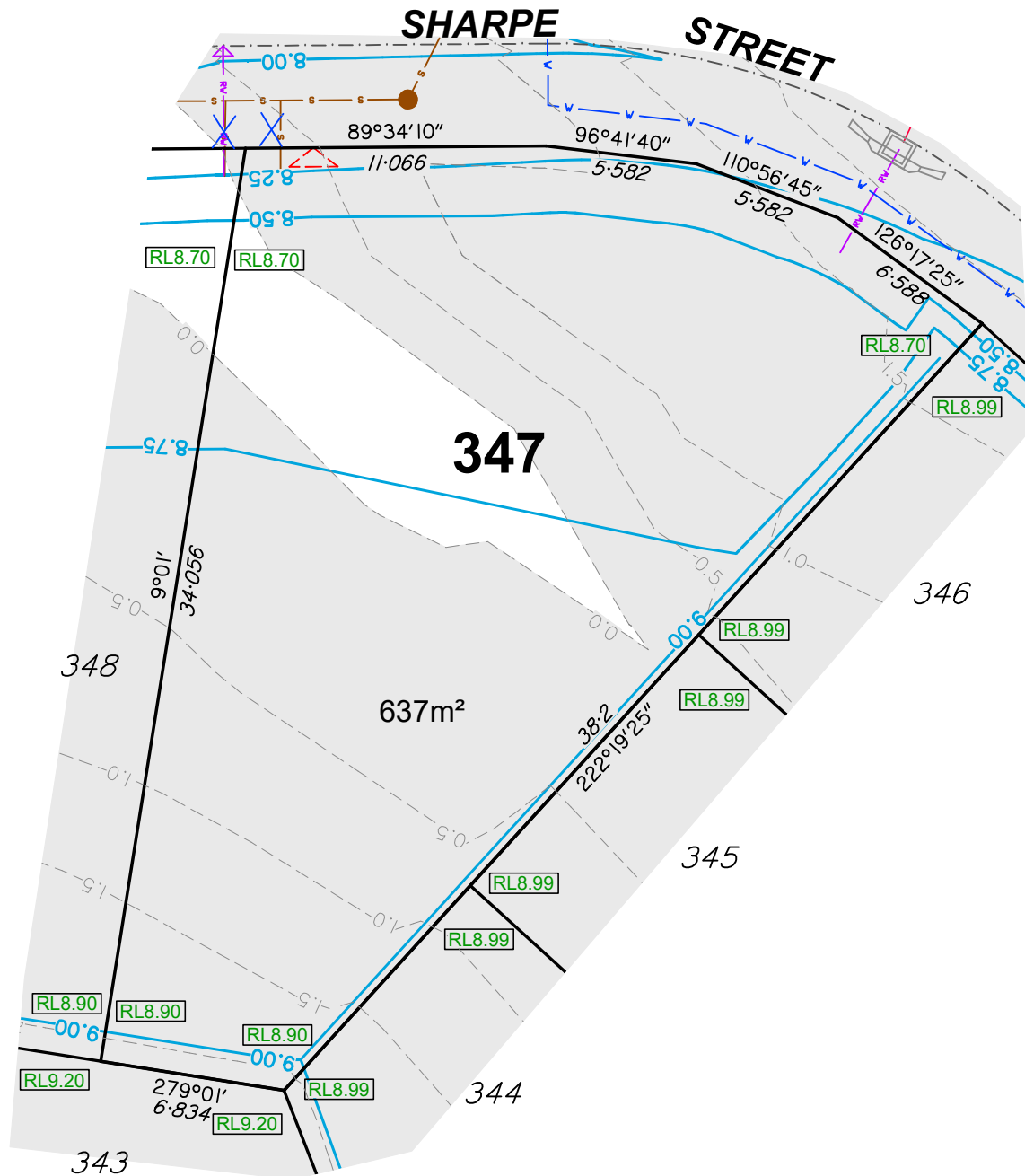


- Planning
- Urban Design
- Landscape
- Environment
- Surveying



HORIZONTAL MERIDIAN: MGA  
LEVEL DATUM: AHD.

DATE DRAWN: 10-12-2024  
DRAWING NO.: SB3594\_5A-01-347  
VERSION: A



# DISCLOSURE PLAN

For Proposed Lot 348  
Riverbank - Stage 5A

Currently Described As Part of Lot 1035 on SP328512  
RPD: Caboolture South  
Locality: Moreton Bay City  
Local Authority:

- Legend:**
- 46.0 Finished Surface Contours (0.25m Interval)
  - 1.0 Depth of Fill Contours (0.5m Interval)
  - Easement Boundary
  - Kerb Line
  - s Sewer/Sewer Manhole
  - sv Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - rv Roofwater/Roofwater Pit
  - ↖ Kerb Adapter
  - v Water/Water Fitting
  - X Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the lowside of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by ADG Engineers (Aust) Pty Ltd on 25-11-2024.
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  6. This plan has been prepared by Wolter Consulting Group, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

## RIVERBANK

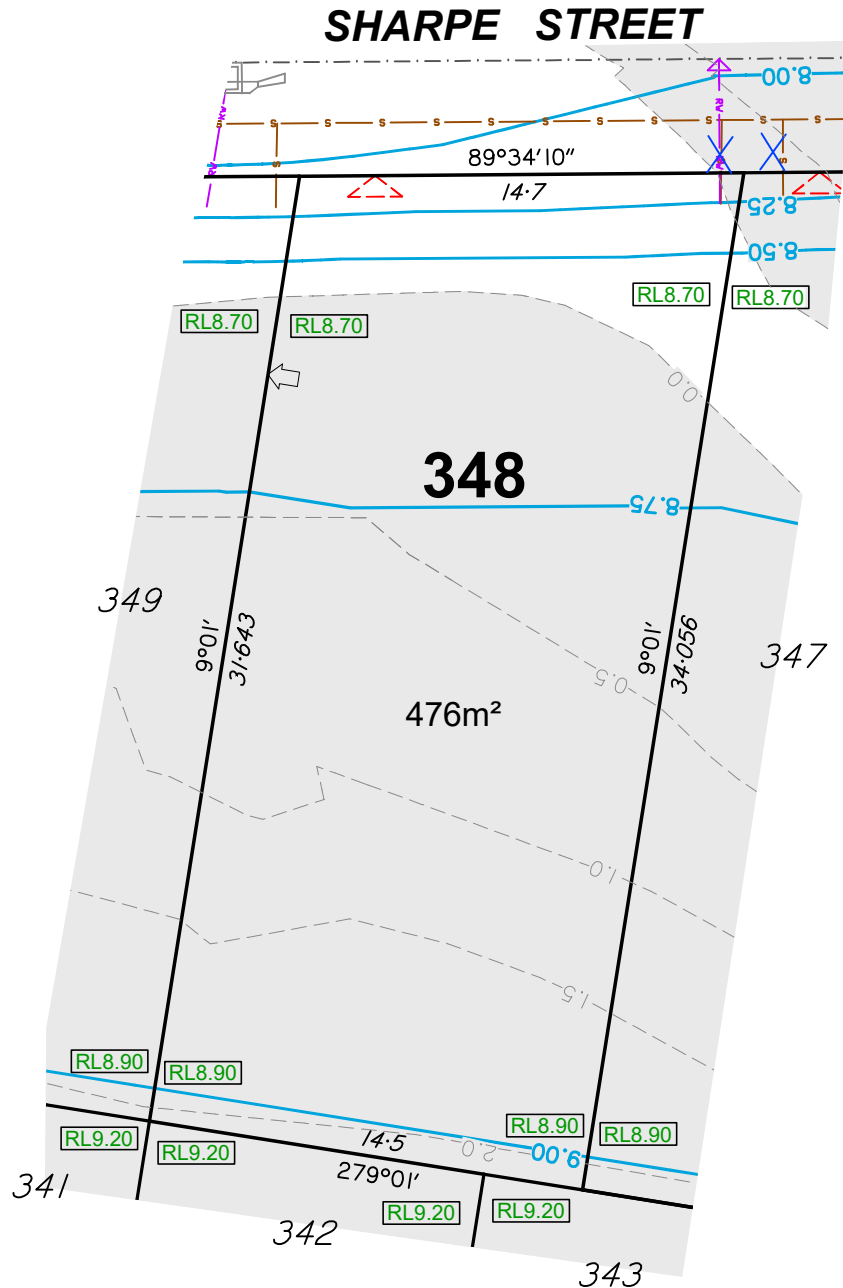


Planning
  Urban Design
  Landscape
  Environment
  Surveying



HORIZONTAL MERIDIAN: MGA  
LEVEL DATUM: AHD.

DATE DRAWN: 10-12-2024  
DRAWING NO.: SB3594\_5A-01-348  
VERSION: A



# DISCLOSURE PLAN

For Proposed Lot 349  
Riverbank - Stage 5A

Currently Described As Part of Lot 1035 on SP328512  
RPD: Caboolture South  
Locality: Moreton Bay City  
Local Authority:

**Legend:**

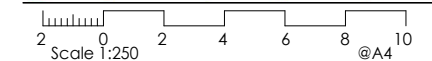
	Finished Surface Contours (0.25m Interval)
	Depth of Fill Contours (0.5m Interval)
	Easement Boundary
	Kerb Line
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Roofwater Pit
	Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary

- Notes:**
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  - This plan has been prepared by Wolter Consulting Group, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK

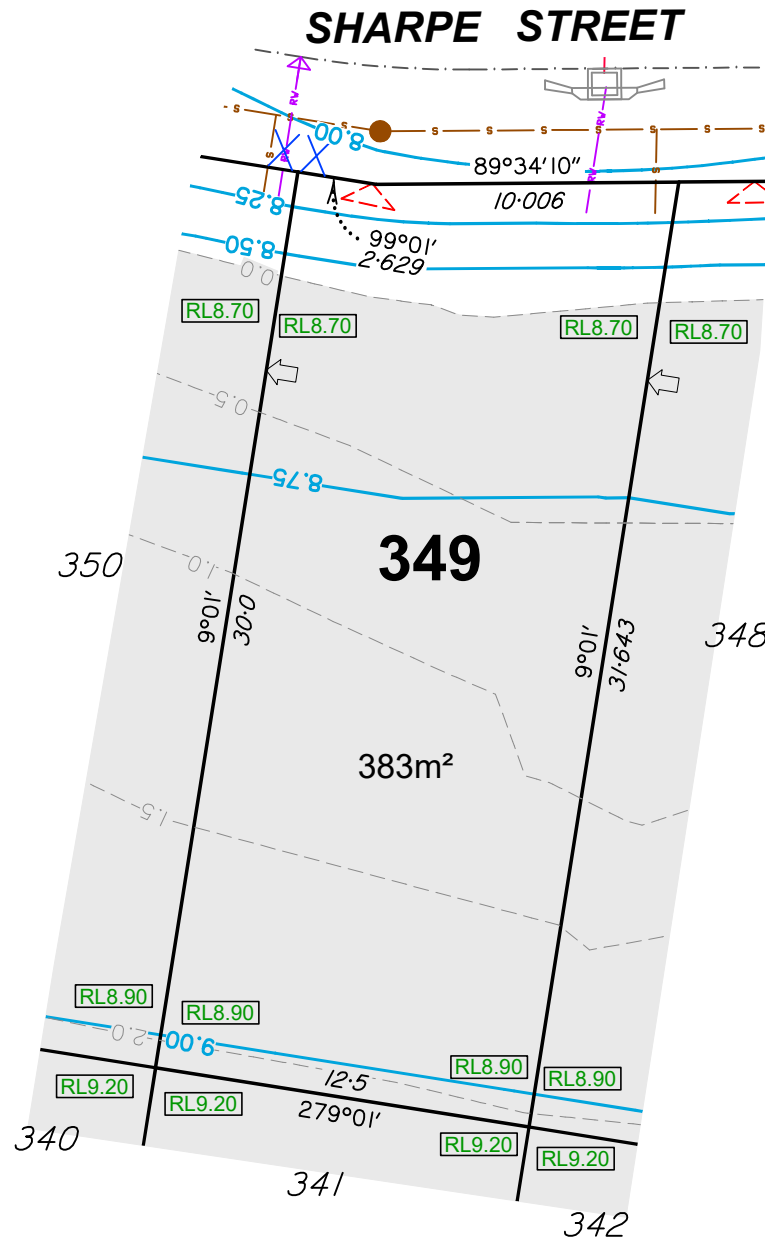


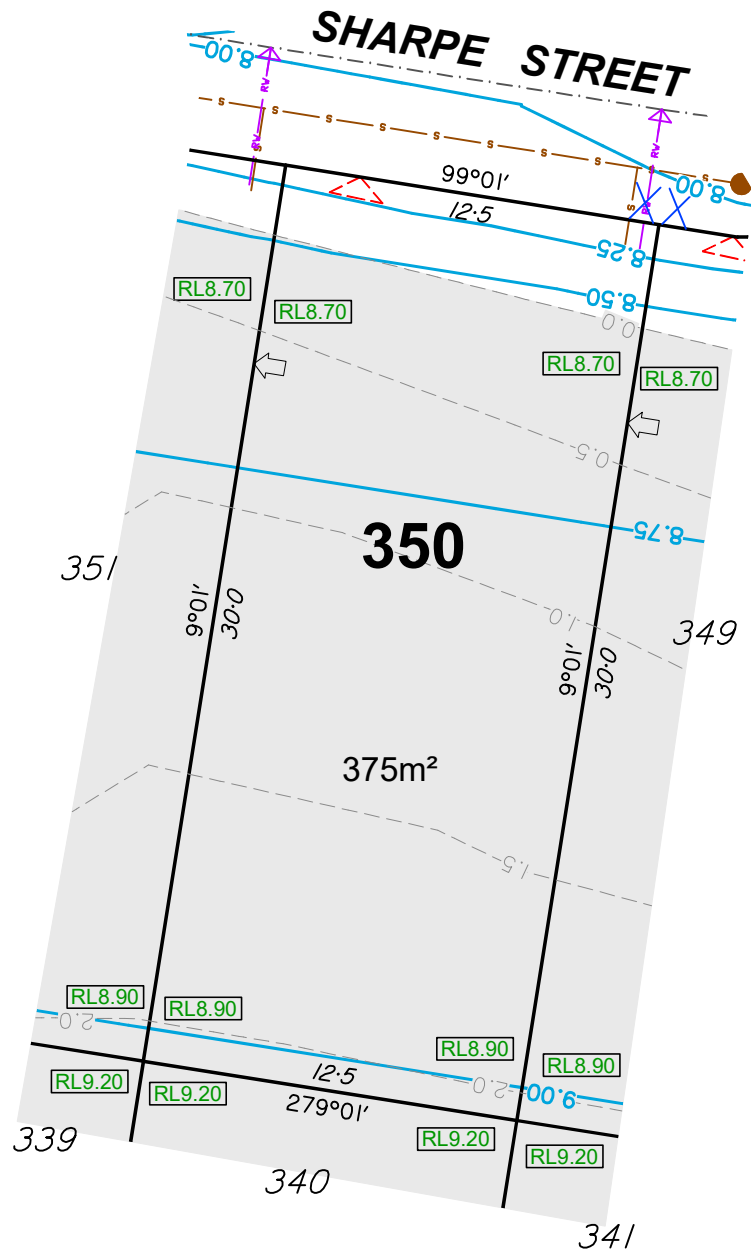
Planning
  Urban Design
  Landscape
  Environment
  Surveying



HORIZONTAL MERIDIAN: MGA  
LEVEL DATUM: AHD.

DATE DRAWN 10-12-2024	DRAWING NO. SB3594_5A-01-349	VERSION A
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# DISCLOSURE PLAN

For Proposed Lot 350  
Riverbank - Stage 5A

Currently Described As Part of Lot 1035 on SP328512  
RPD: Caboolture South  
Locality: Moreton Bay City  
Local Authority:

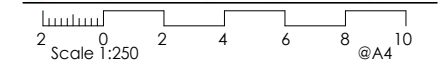
- Legend:**
- 46.0 Finished Surface Contours (0.25m Interval)
  - - - 1.0 Depth of Fill Contours (0.5m Interval)
  - - - Easement Boundary
  - - - Kerb Line
  - s Sewer/Sewer Manhole
  - sv Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - rv Roofwater/Roofwater Pit
  - Kerb Adapter
  - v Water/Water Fitting
  - X Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height
  - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
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# RIVERBANK



Planning
  Urban Design
  Landscape
  Environment
  Surveying



HORIZONTAL MERIDIAN MGA      LEVEL DATUM AHD.

DATE DRAWN 10-12-2024      DRAWING NO. SB3594\_5A-01-350      VERSION A

# DISCLOSURE PLAN

For Proposed Lot 351  
Riverbank - Stage 5A

Currently Described As Part of Lot 1035 on SP328512  
RPD: Caboolture South  
Locality: Moreton Bay City  
Local Authority:

**Legend:**

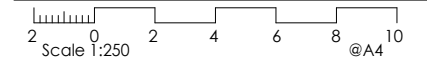
- 46.0 Finished Surface Contours (0.25m Interval)
- 1.0 Depth of Fill Contours (0.5m Interval)
- Easement Boundary
- Kerb Line
- Sewer/Sewer Manhole
- Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- Roofwater/Roofwater Pit
- ◀ Kerb Adapter
- Water/Water Fitting
- X Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the lowside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary

- Notes:**
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## RIVERBANK



Planning
  Urban Design
  Landscape
  Environment
  Surveying



HORIZONTAL MERIDIAN MGA      LEVEL DATUM AHD.

DATE DRAWN 10-12-2024      DRAWING NO. SB3594\_5A-01-351      VERSION A

