

SHORE  
*haven*

DESIGN  
*guidelines*

PEET

# INTRODUCTION

These Design Guidelines have been prepared to help you decide on the best possible housing designs for your home. Our aim is to ensure that the overarching vision for Shorehaven is reflected in the design of every home. Inside these guidelines, you'll find tips to help you and your home reflect our commitment to delivering sustainable outcomes. This document should be read in conjunction with the Waterwise Shorehaven booklet, where you'll find design tips to help reduce the running costs within your home through the consideration of orientation, cross ventilation and the use of environmentally sustainable energy sources.

A copy of these Design Guidelines will be provided to all purchasers at Shorehaven.

Where a Local Development Plan (LDP) has been prepared as part of the estate's planning approval, compliance with the requirements of the LDP must be adhered to. To ensure you have the latest version of any LDP that may be applicable to your lot, please refer to the City of Wanneroo website [https://www.wanneroo.wa.gov.au/info/20017/planning\\_and\\_building/140/structure\\_plans\\_and\\_local\\_development\\_plans\\_ldp](https://www.wanneroo.wa.gov.au/info/20017/planning_and_building/140/structure_plans_and_local_development_plans_ldp), or alternatively contact the Shorehaven Sales Team.

We suggest you forward a copy to your builder and/or architect, to help your new home get started.

## APPROVAL PROCESS OVERVIEW

### Role of Design Guidelines and Design Assessment Coordinator

The role of the Design Guidelines is to ensure that every building in the Shorehaven community fit within, and uphold, the overarching Shorehaven design principles.

These Design Guidelines provide direction in design excellence and sustainable outcomes as well as ensuring consistency in theming, maintaining an aesthetic streetscape for the community. By identifying a number of signature design elements which contributes to the character of the development, these guidelines protect your investment by ensuring design quality is delivered for all homes within Shorehaven.

### Other Applicable Documents

The Guidelines are to be read in conjunction with the Protective Covenants, DAPs and any other relevant and current statutory documents including the following:

- > Building Code of Australia (BCA) including the minimum standards for sustainable housing;
- > Residential Design Codes of Western Australia (R Codes);
- > CoW District Planning Scheme No 2;
- > Where these Guidelines differ from Protective Covenants or the DAPs, the Protective Covenant followed by DAP shall take precedence over the Guidelines;
- > Where the Guidelines differ from the R Codes, the R Codes shall take precedence unless they have been varied by the relevant DAP.

### Purchaser Responsibility

It's your responsibility as a new purchaser to ensure that your home in Shorehaven complies with the Design Guidelines. This ensures consistency in theming and delivers a an aesthetic streetscape for the community.

## APPROVAL PROCESS

Prepare design drawings in accordance with covenants, DAP's and guidelines



Submit to Peet Nominated Representative

One digital copy of the following documents:

- Site Plans
- Floor Plan/s
- Elevations
- External Colour and Materials Schedule / Addenda
- Additional Information
- 1 completed Application Form

Application endorsed by Peet Nominated Representative



Submit Building license and development approval application (if required) to City of Wanneroo



Approval received

# DESIGN ELEMENTS

The design guidelines for Shorehaven emphasise achieving visual harmony while embracing diversity and reflecting the coastal lifestyle. These criteria ensure that homes contribute to a cohesive and aesthetically pleasing neighborhood while allowing for individual expression.

Purchasers are required to incorporate at least two (2) Design Elements, such as louvre windows emphasizing horizontal lines, a secondary material like weatherboard comprising a minimum of 20% of the facade, or distinctive entry features such as porticos, masonry gateway walls, or entry pergolas. These elements not only enhance the visual appeal but also embody the essence of Shorehaven's unique coastal identity.

The guidelines further promote a unified aesthetic by advocating for off-white colors as the estate's signature palette, prohibiting overly bright or dark hues to maintain the community's serene ambiance and architectural integrity. Compliance with these standards ensures that each home complements its surroundings, fostering a harmonious and attractive residential environment at Shorehaven.

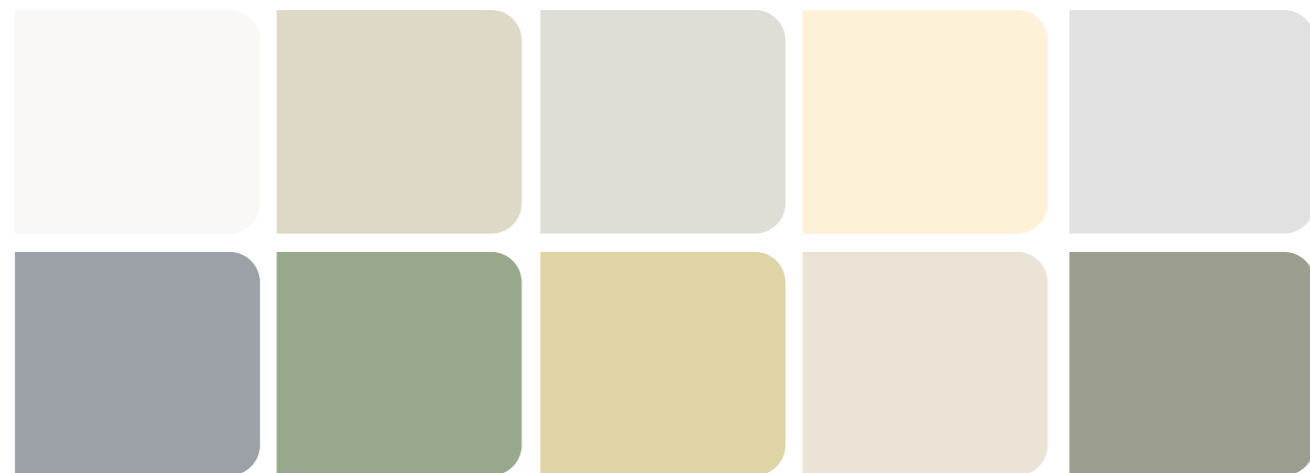
## PREFERRED COLOURS

- Surfmist
- Shale Grey
- Dune
- Cove
- Evening Haze
- Gully

## PROHIBITED COLOURS INCLUDE

- |                 |                      |
|-----------------|----------------------|
| • Cottage Green | • Mangrove           |
| • Manor Red     | • Black/Ebony        |
| • Monument      | • Dark Charcoal/Grey |
| • Headland      | • Bright Orange      |
| • Basalt        | • Terracotta         |
| • Ironstone     | • Red                |
| • Jasper        |                      |

## PREFERRED COLOUR PALETTE



## ACCEPTABLE DESIGN

- Three-storey max height featuring a coastal palette of materials and colours.
- Strong 'touch of white' emphasis.
- 'Touch of white' offset by darker enhancements.
- Single-storey dwelling articulated and featuring differing elements of composite finishes.
- Coastal hues with natural cedar look door sashes.
- Composite of materials and finishes. White recessed walls with natural timber and coastal blues.
- Highly articulated street elevations. First floor balcony providing street outlook.
- 'Touch of white' utilising composite materials.
- Window frames in 'touch of white' or preferred colours'.

## EXAMPLES OF ACCEPTABLE DESIGN MATERIAL AND COLOURS



# A TOUCH OF WHITE

Each dwelling will be required to contribute to the Shorehaven coastal style in that an element of white shall be exhibited on elevations fronting primary and secondary streets and public open spaces. This can be used in conjunction with other accent or complementary colours from an expanded coastal colour palette, or with other materials and finishes.

The definition of 'white' shall include off-whites and creams in coastal hues.

The Applicant is to nominate a minimum of two (2) 'Touch of White Elements'.

## COMPLIANT ELEMENTS

- A significant full wall
- Walls above or below a dado line for the full extent of the elevation
- A significant wall panel above or below a dado line
- Front fencing
- Front doors
- Garage doors
- Window Frames
- Roof
- Feature trim elements (fascias, bargeboards, rafters and gutters)

## EXAMPLES OF 'TOUCH OF WHITE'



### ROOF & WINDOW FRAMES

White roof with complimenting window treatments.



### FEATURE TRIM ELEMENTS & GARAGE DOOR

Coastal hues feature trim elements (fascias) with white garage door.

# OTHER CONSIDERATIONS

## VEHICLE ACCESS AND GARAGES

Onsite parking shall be required as per planning requirements.

## SITE SERVICES

All piped and wired services including waste, vent pipes and rainwater tanks, refrigerant lines and cable ducts are required to be built into walls and are not to be visible from the street or adjoining properties.

## LANEWAY LIGHTING

In order to contribute to safe traffic movement and to enhance levels of community security, street lighting may be provided to all laneways.

To facilitate the installation of light poles, small easement or road reserve projections into the lot will be provided (where applicable). A building, wall or fence is not permitted to project into a laneway light easement or road reserve projection.

## LETTERBOXES

For laneway lots, letterboxes are to be provided and located at the primary street frontage. Letterboxes are not permitted to be located on a laneway boundary, unless directed by Australia Post.

## RUBBISH BINS

Rubbish bins should not be visible from public areas except on rubbish collection days. Bins shall be located in a screened storage area.

## LANDSCAPE DESIGN

Shorehaven's 'Building your Waterwise home' booklet is intended to guide you towards best-practice landscaping design and materials for your backyard and side access areas.

## AIR CONDITIONERS

As air conditioners are noise generating and often unsightly, their impact on adjoining properties and public areas is to be mitigated.

Air conditioners are preferred to be located at ground level to minimise the impact on neighbours and are to be visually concealed from public areas. Any roof mounted air conditioning or evaporative cooling units are required to not be visible from a street or public open space and is to be finished in a colour to match that of the roof.

## TV ANTENNAE AND SATELLITE DISHES

TV antennae are to be located within the roof space or to the rear of the roof, wherever reception permits. Where a TV antenna must project above a roof line to access the direction of reception the maximum projection should be 0.5m.

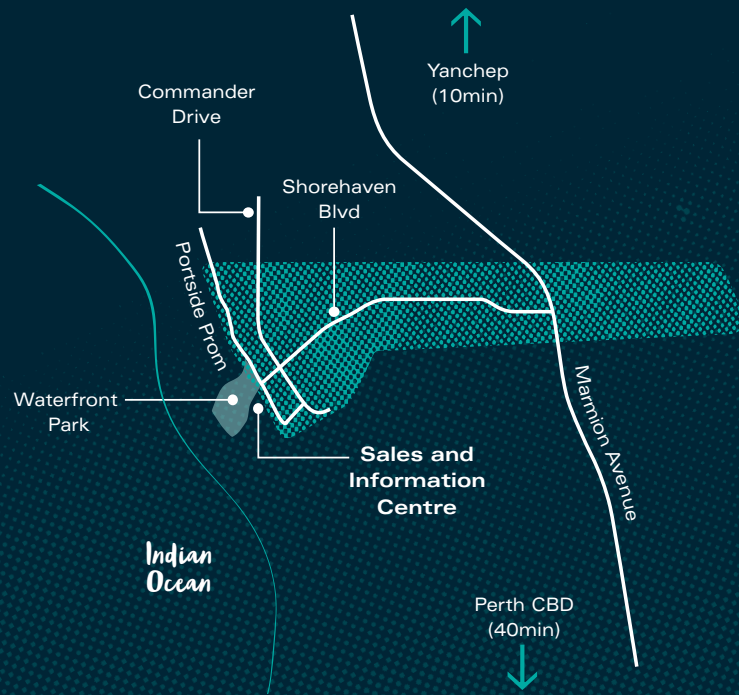
The installation of satellite dishes shall be in accordance with the City of Wanneroo's relevant policy.

## SOLAR PANELS

The use of gas boosted solar hot water and swimming pool heating systems is encouraged, however solar panels must not be visible from public spaces unless there is no other location which affords suitable solar exposure. In this case they should be installed on the plane of the roof, with water tanks ideally located within the roof space.

## CLOTHES LINES AND DRYING AREAS

These should not be visible from public areas.



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