

Local Development Plan R-Code Variations

1 OVERVIEW

- 1.1 The requirements of the City of Mandurah Local Planning Scheme No. 12, the Residential Design Codes Volume 1 (R-Codes), and Local Planning Policy No. 1 – Residential Design Codes Policy apply, unless otherwise provided below.
- 1.2 The following standards represent variations to the deemed-to-comply provisions of the R-Codes and constitute new deemed-to-comply provisions pursuant to the R-Codes, or are deemed to meet the relevant design principles of the R-Codes.

2 SCHEME AND RESIDENTIAL DESIGN CODE VARIATIONS

- 2.1 Where variations to the provisions of the LDP and R-Codes are sought, an approval through a Codes Variation Application will be required.
- 2.2 The requirements to consult with adjoining or other landowners to achieve a variation to the R-Codes described in this LDP are not required where the design complies with the following criteria.
- 2.3 The erection or extension of a single house on a lot contained within this LDP, which satisfies the requirements of the Residential Design Codes and this LDP, is exempt from the requirement to obtain development approval.

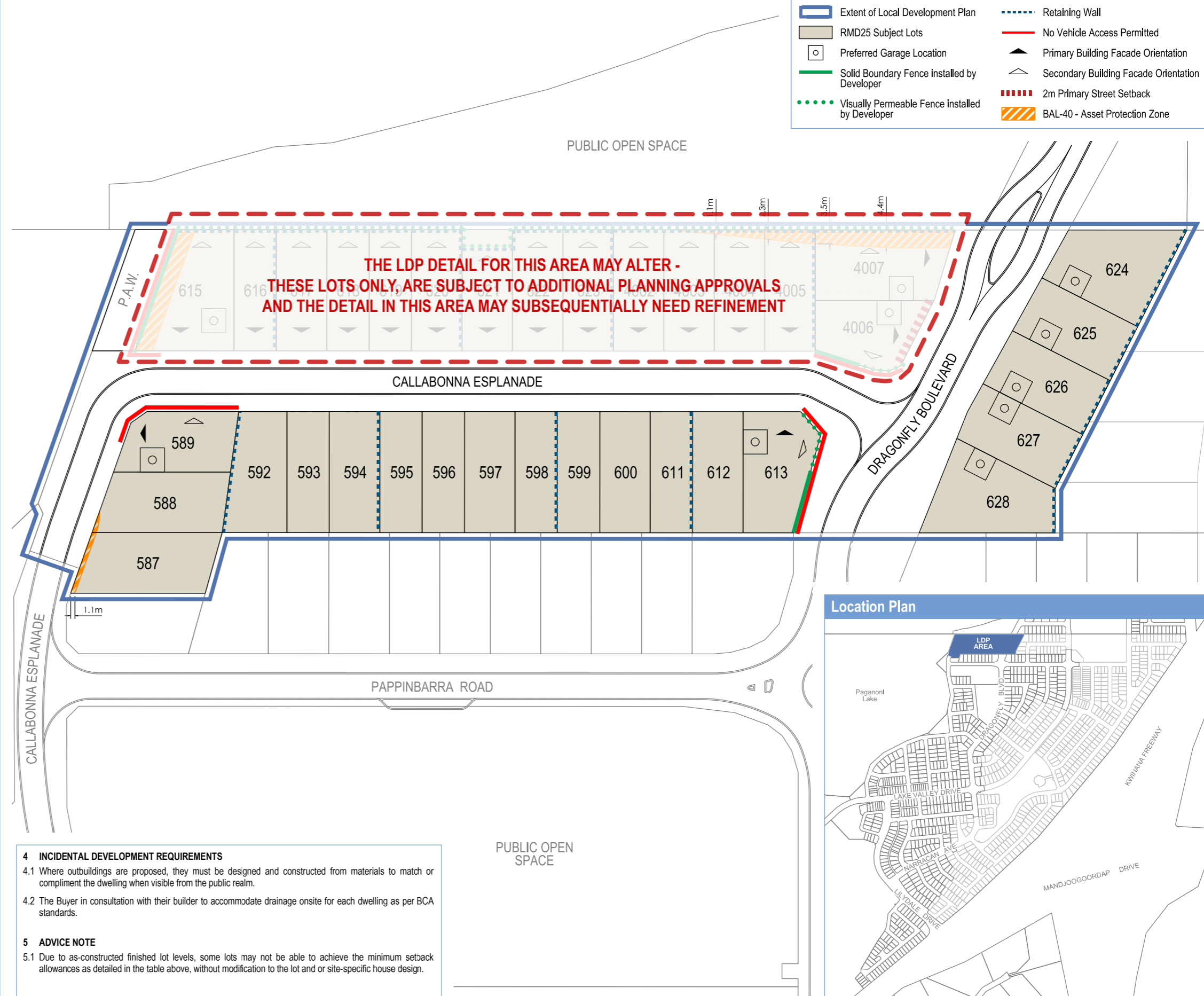
3 STREETScape AND SETBACK REQUIREMENTS

R-MD 25 Lots			
Criteria	Location	Minimum	Requirements
Primary Street Setback	All Lots	As per RMD Codes	<ul style="list-style-type: none"> This is an absolute minimum.
Garage Setback	All lots	As per RMD Codes	<ul style="list-style-type: none"> 14% maximum driveway grade permitted. Garage setback or finished floor level shall be adjusted accordingly.
Building Boundary Setback	Lots 615-619, 623, and 4002-4005	3.0m setback to Public Open Space boundary	<ul style="list-style-type: none"> This is an absolute minimum.
	Lot 621	6.5m setback to Public Open Space boundary	<ul style="list-style-type: none"> This is an absolute minimum, and enables a 2.0m building setback from the retaining wall.
	Lot 620 and 622	3.0m setback to Public Open Space (northern boundary) 1.5m setback to Lot 621 side boundary for a distance of 6.5m measured from Public Open Space boundary.	<ul style="list-style-type: none"> This is an absolute minimum.
	Lot 4007	4.4m setback to Public Open Space (lot side boundary)	
Asset Protection Zone	Lot 587 and 588	1.0m setback to primary street boundary	<ul style="list-style-type: none"> In accordance with the Bushfire Management Plan prepared by JBS&G (dated XXX), Lots 587, 588, 615, 4003-4005 and 4007 are affected by BAL-40 and are subject to an Asset Protection Zone (APZ) as shown on this LDP. The APZ is determined by a setback from the boundary closest to the bushfire threat.
	Lot 615	4.0m setback to PAW boundary	<ul style="list-style-type: none"> The APZ enables buildings to be located on affected lots in a BAL-29 zone.
	Lot 4003	Variable setback to Public Open Space boundary 0.0m - 1.1m (as per LDP plan)	
	Lot 4004	Variable setback to Public Open Space boundary 1.1m - 2.3m (as per LDP plan)	
	Lot 4005	Variable setback to Public Open Space boundary 2.3m - 3.4m (as per LDP plan)	
	Lot 4007	Variable setback to Public Open Space boundary 3.4m - 4.4m (as per LDP plan)	

- 3.1 For all lots, the major entry and primary building façade of the dwelling shall be oriented as specified on the LDP plan. Secondary building façades, where applicable, shall provide surveillance of the adjoining public realm.
- 3.2 For all corner lots (589, 613 and 4006), dwellings shall have at least one habitable room that has a major opening with a clear view of the Secondary Street frontage and must not be obscured by visually impermeable fencing.
- 3.3 For Lots 615-623, 4002-4005 and 4007, dwellings shall have at least one habitable room that has a major opening with a clear view of the Public Open Space as well as an outdoor living area located to face towards and achieve an unobstructed view of the Public Open Space.
- 3.4 For Lot 615, where estate fencing is provided with visually permeable components to the adjoining Pedestrian Access Way, the dwelling shall include at least one habitable room that has a major opening with a clear view of the Pedestrian Access Way and must not be obscured by visually impermeable fencing.
- 3.5 Where visually permeable estate fencing is supplied by the Developer with visually permeable components, the fence shall not be altered and the visually impermeable fencing must not be obscured.

Legend

- Extent of Local Development Plan
- RMD25 Subject Lots
- Preferred Garage Location
- Solid Boundary Fence installed by Developer
- Visually Permeable Fence installed by Developer
- Retaining Wall
- No Vehicle Access Permitted
- Primary Building Facade Orientation
- Secondary Building Facade Orientation
- 2m Primary Street Setback
- BAL-40 - Asset Protection Zone

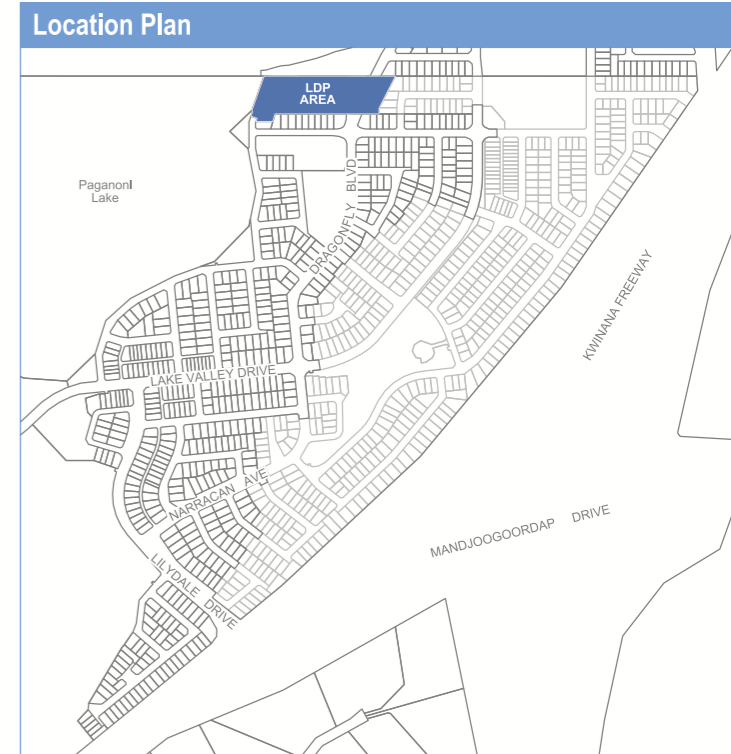


4 INCIDENTAL DEVELOPMENT REQUIREMENTS

- 4.1 Where outbuildings are proposed, they must be designed and constructed from materials to match or complement the dwelling when visible from the public realm.
- 4.2 The Buyer in consultation with their builder to accommodate drainage onsite for each dwelling as per BCA standards.

5 ADVICE NOTE

- 5.1 Due to as-constructed finished lot levels, some lots may not be able to achieve the minimum setback allowances as detailed in the table above, without modification to the lot and or site-specific house design.



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3 STREETScape AND SETBACK REQUIREMENTS

R-MD 25 Lots			
Criteria	Location	Minimum	Requirements
Primary Street Setback	Lots 648 and 649	2.0m	<ul style="list-style-type: none"> This is an absolute minimum.
	Lots 527, 634-647, and 660-667	As per RMD Codes	
Garage Setback	All lots	As per RMD Codes	<ul style="list-style-type: none"> 14% maximum driveway grade permitted. Garage setback or finished floor level shall be adjusted accordingly.

- 3.1 For Lots 647, 648 and 661, the major entry and primary façade of the dwelling shall be oriented as depicted on the LDP.
- 3.2 For Lots 647, 648 and 661, dwellings shall have at least one habitable room that has a major opening with a clear view of the Secondary Street frontage and must not be obscured by visually impermeable fencing.

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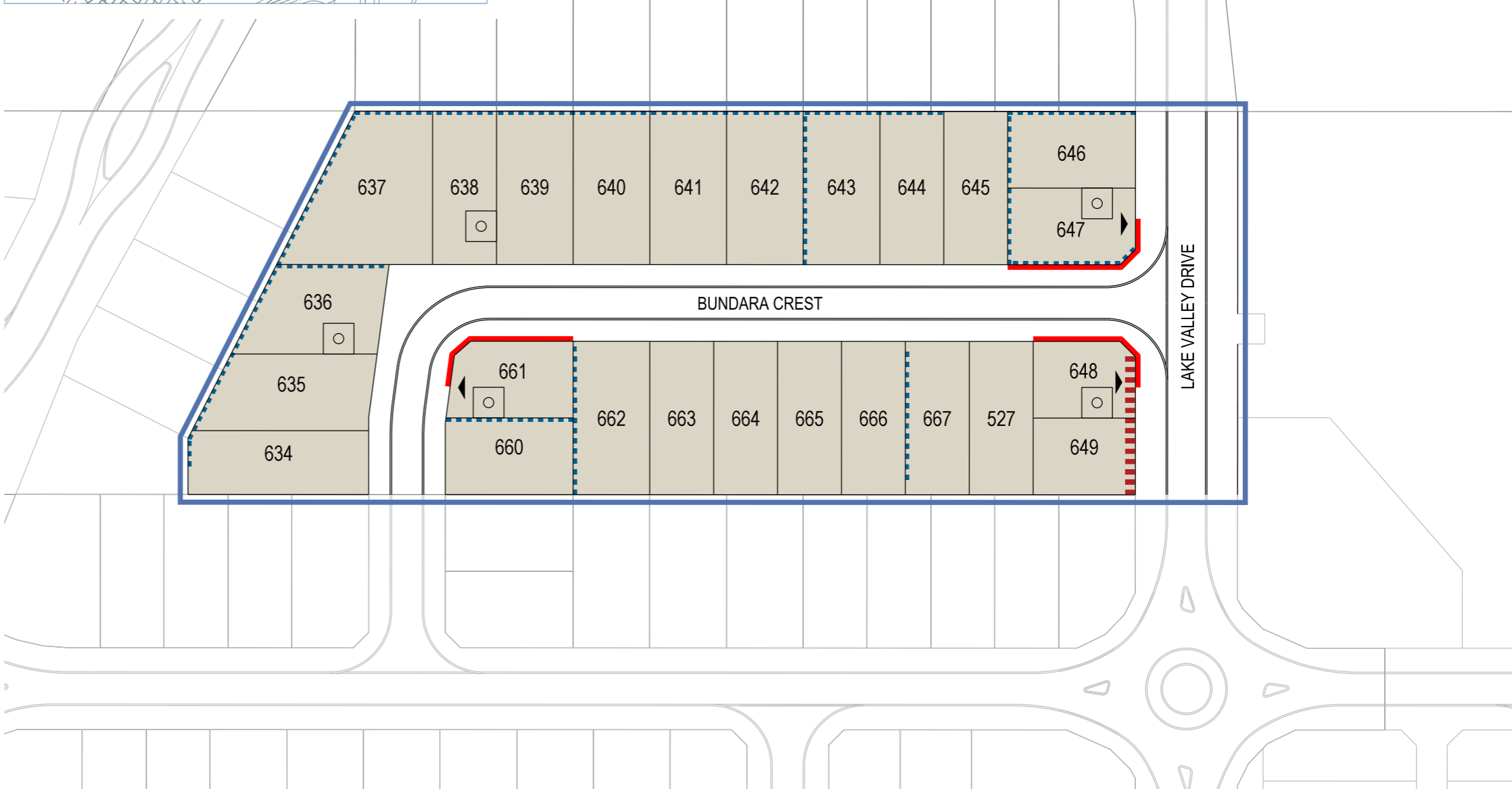
- 5.1 Due to as-constructed finished lot levels, some lots may not be able to achieve the minimum setback allowances as detailed in the table above, without modification to the lot and or site-specific house design.

Location Plan



Legend

- Extent of Local Development Plan
- RMD25 Subject Lots
- Preferred Garage Location
- Retaining Wall
- No Vehicle Access Permitted
- Primary Building Facade Orientation
- 2m Primary Street Setback



Local Development Plan - Stage 74
LAKELANDS, MANDURAH

A Peet Mandurah Syndicate Limited Project

DRAFT

Endorsement Table:
This Local Development Plan is endorsed by the City of Mandurah.
Coordinator, Statutory Planning: _____
Date: _____

scale:
1:1000@A3 | 1:500@A1
0 10 20m

plan:
08/017/150
date:
19/09/2024

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