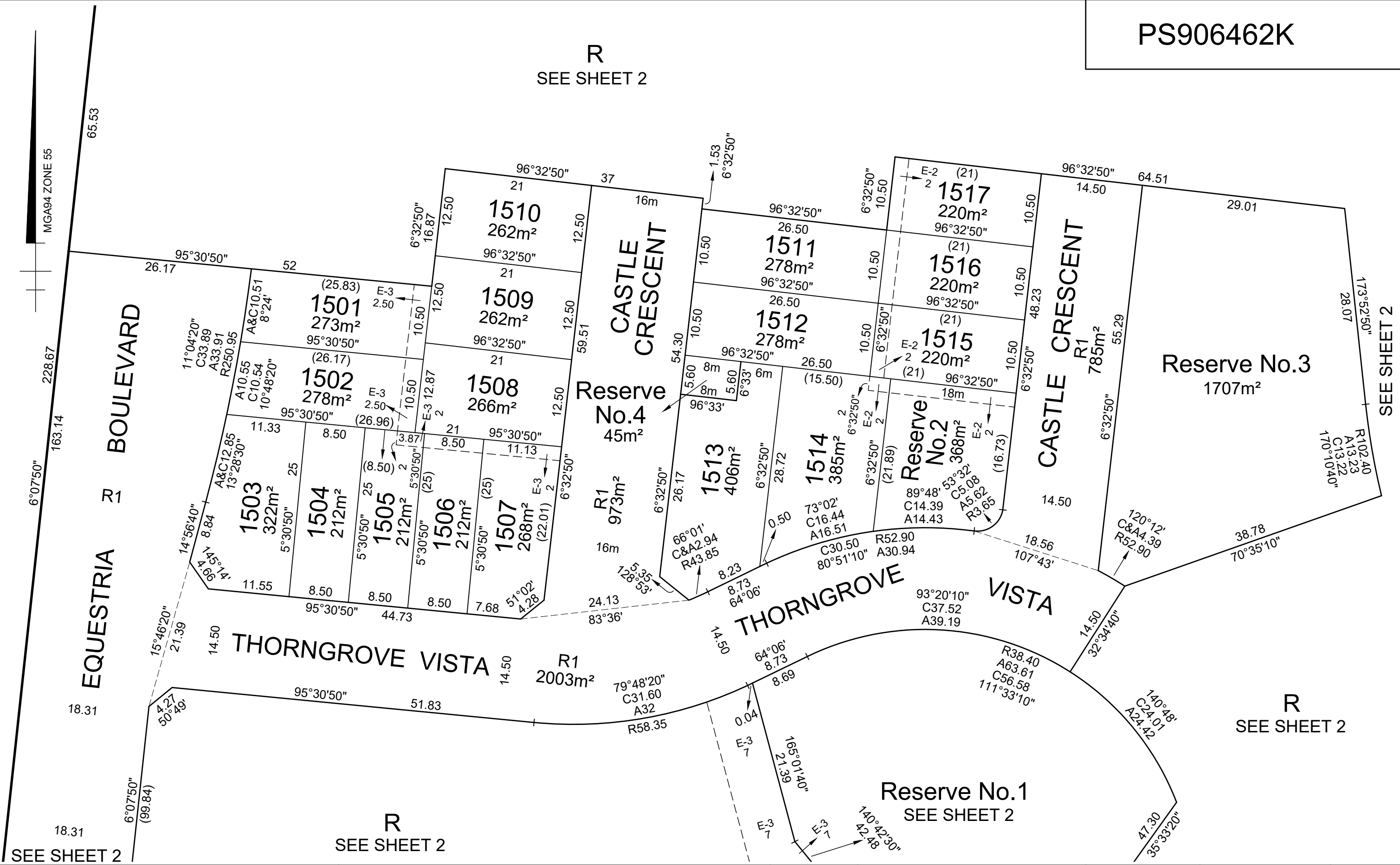


R
SEE SHEET 2



SEE SHEET 2

R
SEE SHEET 2

R
SEE SHEET 2

SEE SHEET 2



Urban Development | Built Environments | Infrastructure
 8 / 270 Ferntree Gully Road, Notting Hill, Victoria, 3168
 Tel: 61 3 9501 2800 | Web: taylorstds.com.au

SCALE
1:500

LENGTHS ARE IN METRES

ORIGINAL SHEET
SIZE: A3

Ref. 20197-S15
Ver. 12

SHEET 3

Digitally signed by: Mark Peter Grey, Licensed Surveyor,
 Surveyor's Plan Version (12),
 28/01/2025, SPEAR Ref: S196524P

WARNING - This document is a working document in the SPEAR approval process. It is subject to revision and change and therefore should not be relied on. If you have any questions about this document please contact the person from Taylors Development Strategists Pty Ltd who gave you access to SPEAR / this document. SPEAR Ref: S196524P 18/03/2025 02:11 pm

CREATION OF RESTRICTION 'A'

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

BURDENED LAND: See table 1 below.
 BENEFITED LAND: See table 1 below.

RESTRICTION:

The registered proprietor or proprietors for the time being of any burdened lot to which this restriction applies must not:

1. Construct or allow to be constructed or remain on the lot or any part of it, any garage with a setback less than 5 metres from the front boundary of the lot.
2. Construct or allow to be constructed or remain on the lot or any part of it, any garage on the lot other than a single car garage where the width of the lot is 10 metres or less when measured at the front wall of the dwelling, where access is proposed from the lot frontage.
3. Construct or allow to be constructed or remain on the lot or any part of it, any dwelling house or commercial building other than any dwelling house or commercial building which incorporates dual plumbing for the use of recycled water in toilet flushing and garden watering.
4. Construct or allow to be constructed or remain on a corner lot or any part of it, any dwelling with the side wall of the first level which is constructed:
 - (i) less than 900mm from the ground level wall that faces a side street; or
 - (ii) with less than 30% glazing for the area of the wall and the remainder of the wall must be constructed in contrasting material finishes.

TABLE 1

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
1501	1502, 1508, 1509
1502	1501, 1503, 1504, 1505, 1508
1503	1502, 1504
1504	1502, 1503, 1505
1505	1502, 1504, 1506, 1508
1506	1505, 1507, 1508
1507	1506, 1508
1508	1501, 1502, 1505, 1506, 1507, 1509
1509	1501, 1508, 1510

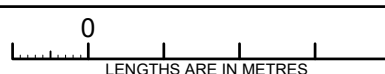
TABLE 1 Continued

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
1510	1509
1511	1512, 1516
1512	1511, 1513, 1514, 1515
1513	1512, 1514
1514	1512, 1513, 1515
1515	1512, 1514, 1516
1516	1511, 1515, 1517
1517	1516



Urban Development | Built Environments | Infrastructure
 8 / 270 Ferntree Gully Road, Notting Hill, Victoria, 3168
 Tel: 61 3 9501 2800 | Web: taylorstds.com.au

SCALE



ORIGINAL SHEET
 SIZE: A3

Ref. 20197-S15
 Ver. 12

SHEET 4

Digitally signed by: Mark Peter Grey, Licensed Surveyor,
 Surveyor's Plan Version (12),
 28/01/2025, SPEAR Ref: S196524P

CREATION OF RESTRICTION 'B'

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

BURDENED LAND: Lots 1501 - 1517 on this plan.
 BENEFITED LAND: Lots 1501 - 1517 on this plan.

RESTRICTION:

The registered proprietor or proprietors for the time being of any burdened lot to which this restriction applies must not :-

1. Construct or allow to be constructed or remain on the lot or any part of it, any building other than one private dwelling house with usual outbuildings without prior written consent from Peet No.123 Pty Ltd and further development approval from Whittlesea City Council, unless such development is exempt from the Whittlesea Planning Scheme.
2. Construct or allow to be constructed or remain on the lot or any part of it any dwelling house or outbuilding without applicable plans and specifications first being submitted to and approved by Peet No.123 Pty Ltd and prepared in accordance with the Ellery Estate Design Guidelines and then only in compliance with any condition imposed by Peet No.123 Pty Ltd in respect of that approval.

Expiry Date : 30th December 2032.

CREATION OF RESTRICTION 'C'

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

BURDENED LAND: See Table 2 below
 BENEFITED LAND: See Table 2 below

RESTRICTION:

The registered proprietor or proprietors for the time being of any burdened lot to which this restriction applies must not :-

Construct or allow to be constructed or remain on the lot or any part of it, any dwelling house or garage other than a dwelling house or garage which has been built in accordance with the Small Lot Housing Code Type A incorporated into the Whittlesea Planning Scheme unless a planning permit is granted by the responsible authority for a dwelling house or garage that does not conform with the Small Lot Housing Code.

TABLE 2

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
1501	1502, 1508, 1509
1502	1501, 1503, 1504, 1505, 1508
1504	1502, 1503, 1505
1505	1502, 1504, 1506, 1508
1506	1505, 1507, 1508
1507	1506, 1508
1508	1501, 1502, 1505, 1506, 1507, 1509
1509	1501, 1508, 1510
1510	1509

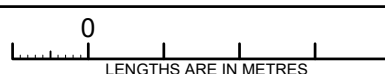
TABLE 2 Continued

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
1511	1512, 1516
1512	1511, 1513, 1514, 1515
1515	1512, 1514, 1516
1516	1511, 1515, 1517
1517	1516



Urban Development | Built Environments | Infrastructure
 8 / 270 Ferntree Gully Road, Notting Hill, Victoria, 3168
 Tel: 61 3 9501 2800 | Web: taylorstds.com.au

SCALE



ORIGINAL SHEET SIZE: A3

Ref. 20197-S15
Ver. 12

SHEET 5

Digitally signed by: Mark Peter Grey, Licensed Surveyor,
 Surveyor's Plan Version (12),
 28/01/2025, SPEAR Ref: S196524P

WARNING - This document is a working document in the SPEAR approval process. It is subject to revision and change and therefore should not be relied on. If you have any questions about this document please contact the person from Taylors Development Strategists Pty Ltd who gave you access to SPEAR / this document. SPEAR Ref: S196524P-18/03/2025 02:11 pm

CREATION OF RESTRICTION 'D'

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

LAND TO BE BURDENED: See Table 4 below.

LAND TO BENEFIT: See Table 4 below.

DESCRIPTION OF RESTRICTION

The registered proprietor or proprietors for the time being of any lot on this plan to which the following restriction applies must not :-

Construct or allow to be constructed or remain on the lot or any part of it any dwelling house presenting sideage directly adjoining any form of open space other than a double storey dwelling house with passive surveillance features such as large windows and balconies at the first storey level to overlook the adjoining open space.

TABLE 4

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
1514	1512, 1513, 1515
1515	1512, 1514, 1516

CREATION OF RESTRICTION 'E'

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

BURDENED LAND: See Table 3

BENEFITED LAND: See Table 3

RESTRICTION:

The registered proprietor or proprietors for the time being of any lot on this plan to which the following restriction applies must not :-

Build or permit to be built or remain on the lot any building or garage on a side boundary of a lot unless the building or garage is set back a minimum of one metre from the other side boundary of that lot in order to provide the required reasonable access for maintenance of any sewer assets at the rear of the lot, by the relevant authority.

TABLE 3

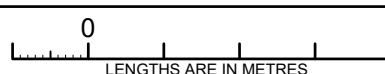
BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
1501	1502, 1508, 1509
1502	1501, 1503, 1504, 1505, 1508

WARNING - This document is a working document in the SPEAR approval process. It is subject to revision and change and therefore should not be relied on. If you have any questions about this document please contact the person from Taylors Development Strategists Pty Ltd who gave you access to SPEAR / this document. SPEAR Ref: S196524P 18/03/2025 02:11 pm



Urban Development | Built Environments | Infrastructure
 8 / 270 Ferntree Gully Road, Notting Hill, Victoria, 3168
 Tel: 61 3 9501 2800 | Web: taylorstds.com.au

SCALE



ORIGINAL SHEET
 SIZE: A3

Ref. 20197-S15
 Ver. 12

SHEET 6

Digitally signed by: Mark Peter Grey, Licensed Surveyor,
 Surveyor's Plan Version (12),
 28/01/2025, SPEAR Ref: S196524P