

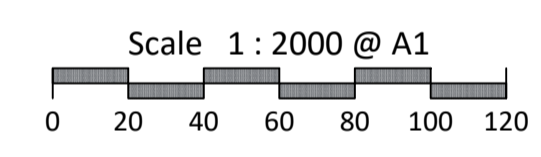
**REVISION**

AC: 14/11/2022 Stage 5 Boundary Changes  
 AD: 10/01/2023 Stage 3 & 4 Layout Changes  
 AE: 24/02/2023 Stage 3 & 5 Layout Changes  
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**Note:**  
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 Road linemarkings and turn slots are indicative only and subject to detailed design.

**Source Information:**  
 Site boundaries: Registered Survey Plans / Veris.  
 Adjoining information: DCDB.  
 Contours: Bradlees.

- Legend**
- Site Boundary
  - - - Proposed Stage Boundary
  - - - Proposed Sub Stage Boundary
  - Existing Q100
  - Possible Multiple Residential Allotment (Max. no. of dwellings)
  - ▨ Entry Statements - Lease
  - ⊛ Indicative Indented Bus Stop Location
  - ⊛ Indicative Temporary In-Line Bus Stop Location
  - Bus Stop Catchment (400m)
  - Neighbourhood Park Catchment (400m)



CLIENT  
**PEET**

PROJECT  
**Flagstone Precinct 1**  
 Plan of Subdivision  
 Stage 4 Overall  
 Allotment Layout

Date: 29 November 2024

Comp By: NF

Checked By: MD

DWG Name: Precinct 1 Stage 4

Job Ref: 110056

Local Authority: Economic Development Queensland

Locality: Flagstone

Scale: 1 : 2000

Sheet: A1

Plan Ref: 110056 - 391

Rev: AN

URBAN DESIGN  
 Level 4 H2 South  
 520 Wickham Street  
 PO Box 1559  
 Fortitude Valley QLD 4006  
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**rps**

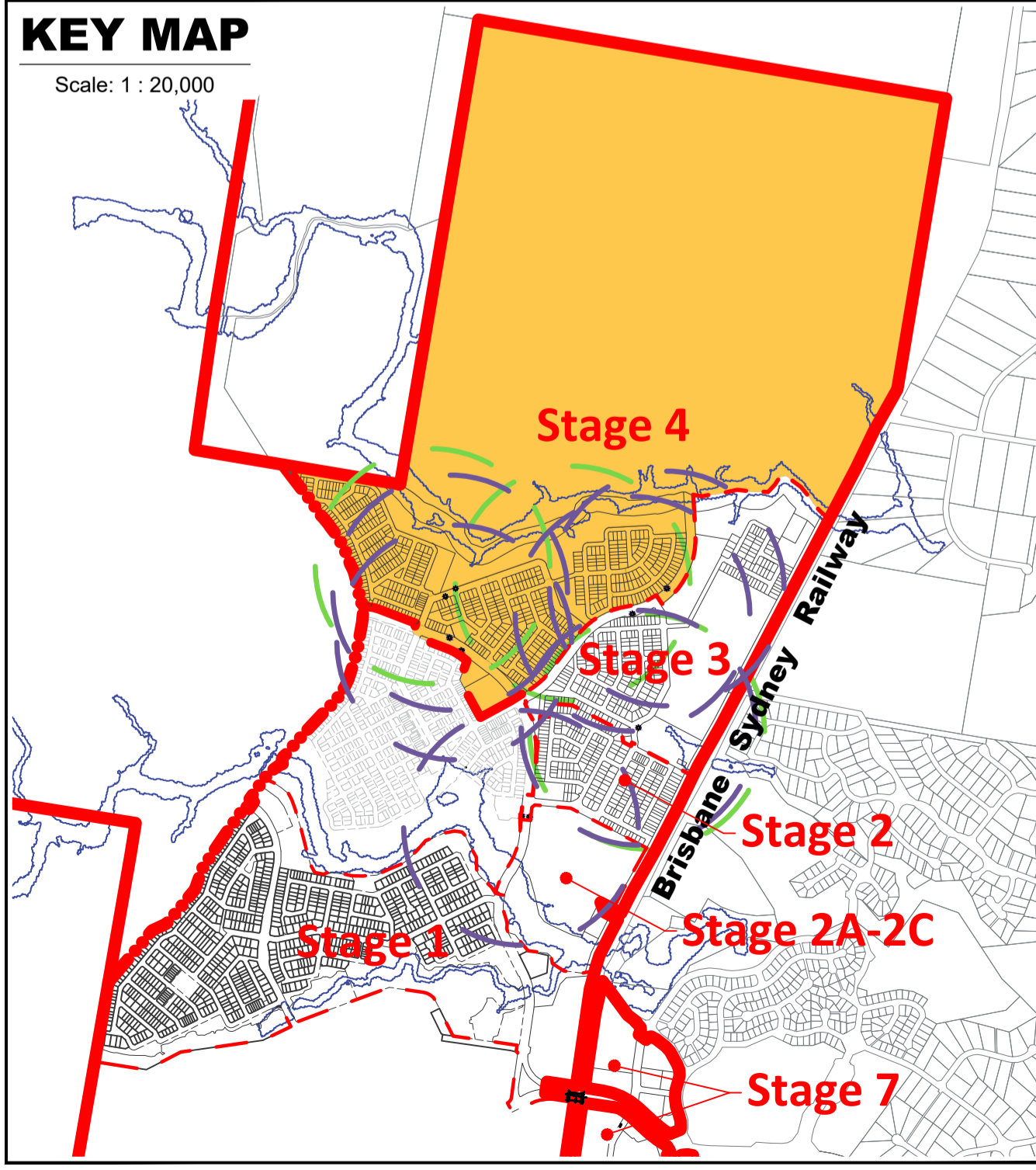
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**Yield Breakdown Stage 4**

Residential Allotments	Typical Size	Typical Area	Overall	
Urban & Nano Allotments Product				
Urban Loft	4.7 x 11.5m	50m <sup>2</sup>	—	0.0%
Urban Allotments	7.5 x 16m	120m <sup>2</sup>	—	0.0%
Urban Terrace	6.2 x 27.5m	170m <sup>2</sup>	—	0.0%
<b>Subtotal</b>			—	<b>0.0%</b>
16m Deep Product				
Squat Allotment	14 x 16m	220m <sup>2</sup>	4	0.8%
<b>Subtotal</b>			4	<b>0.8%</b>
25m Deep Product				
Villa Allotment	10 x 25m	250m <sup>2</sup>	5	0.9%
Premium Villa Allotment	12.5 x 25m	313m <sup>2</sup>	3	0.6%
Courtyard Allotment	14 x 25m	350m <sup>2</sup>	28	5.3%
Premium Courtyard Allotment	16 x 25m	400m <sup>2</sup>	5	0.9%
Premium Traditional Allotment	20 x 25m	500m <sup>2</sup>	—	0.0%
Possible Multiple Residential Allotment	—	—	—	0.0%
<b>Subtotal</b>			41	<b>7.8%</b>
28m Deep Product				
Terrace 7.5m Allotment	7.5 x 28m	210m <sup>2</sup>	5	0.9%
Terrace 9.5m Allotment	9.5 x 28m	265m <sup>2</sup>	2	0.4%
<b>Subtotal</b>			7	<b>1.3%</b>
30m Deep Product				
Villa Allotment	10 x 30m	300m <sup>2</sup>	111	21.0%
Premium Villa Allotment	12.5 x 30m	375m <sup>2</sup>	174	33.0%
Courtyard Allotment	14 x 30m	420m <sup>2</sup>	160	30.3%
Traditional Allotment	20 x 30m	600m <sup>2</sup>	26	4.9%
Premium Traditional Allotment	25 x 30m	720m <sup>2</sup>	—	0.0%
Possible Multiple Residential Allotment	—	—	5	0.9%
<b>Subtotal</b>			476	<b>90.2%</b>
<b>Total Residential Allotments</b>			<b>528</b>	<b>100%</b>

**Land Budget Stage 4**

Land Use	Overall	
	Area	%
<b>Area of Subject Site</b>	<b>301.996 ha</b>	<b>100.0%</b>
<b>Saleable Area</b>		
Residential Allotments	22.088 ha	7.3%
Commercial Allotment	1.324 ha	0.4%
Balance Super Allotments	246.968 ha	81.8%
Community Facility	0.500 ha	0.2%
<b>Total Area of Allotments</b>	<b>270.880 ha</b>	<b>89.7%</b>
<b>Road</b>		
Collector Road	4.790 ha	1.6%
Local Road	9.331 ha	3.1%
Linear Connections	0.473 ha	0.2%
Entry Statements	—	0.0%
<b>Total Area of New Road</b>	<b>14.594 ha</b>	<b>4.8%</b>
<b>Open Space</b>		
Corridor Park	14.719 ha	4.9%
Conservation (Within Corridor Park)	6.357 ha	2.1%
District Recreation Park	—	0.0%
Neighbourhood Recreation Park	1.803 ha	0.6%
Local Recreation Park	—	0.0%
Local Linear Recreation Park	—	0.0%
Stormwater Detention	—	0.0%
<b>Total Open Space</b>	<b>16.522 ha</b>	<b>5.5%</b>



**TO BE READ IN CONJUNCTION WITH 110056 - 392**

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL  
 Approval no. DEV2012/403/191  
 Date: 24 January 2025



## Yield Breakdown Stage 4

Residential Allotments	Typical Size	Typical Area	Stage 4A	Stage 4B	Stage 4C	Stage 4D	Stage 4E	Stage 4F	Stage 4G	Stage 4H	Stage 4I	Stage 4J	Stage 4K	Stage 4L	Stage 4M	Stage 4N	Stage 4O	Stage 4P	Stage 4Q	Overall		
<b>Urban &amp; Nano Allotments Product</b>																						
Urban Loft	4.7 x 11.5m	50m <sup>2</sup>	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m <sup>2</sup>	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Urban Terrace	6.2 x 27.5m	170m <sup>2</sup>	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
<b>Subtotal</b>			—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
<b>16m Deep Product</b>																						
Squat Allotment	14 x 16m	220m <sup>2</sup>	—	—	4	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	4	0.8%
<b>Subtotal</b>			—	—	4	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	4	0.8%
<b>25m Deep Product</b>																						
Villa Allotment	10 x 25m	250m <sup>2</sup>	—	—	—	—	—	—	—	2	—	3	—	—	—	—	—	—	—	—	5	0.9%
Premium Villa Allotment	12.5 x 25m	313m <sup>2</sup>	—	—	—	—	—	—	—	1	—	—	—	2	—	—	—	—	—	—	3	0.6%
Courtyard Allotment	14 x 25m	350m <sup>2</sup>	6	2	2	—	—	—	—	—	—	8	6	4	—	—	—	—	—	—	28	5.3%
Premium Courtyard Allotment	16 x 25m	400m <sup>2</sup>	—	—	—	1	—	—	—	—	—	3	1	—	—	—	—	—	—	—	5	0.9%
Premium Traditional Allotment	20 x 25m	500m <sup>2</sup>	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
<b>Subtotal</b>			6	2	2	1	—	—	—	3	—	14	7	6	—	—	—	—	—	—	41	7.8%
<b>28m Deep Product</b>																						
Terrace 7.5m Allotment	7.5 x 28m	210m <sup>2</sup>	—	—	—	—	—	—	—	—	5	—	—	—	—	—	—	—	—	—	5	0.9%
Terrace 9.5m Allotment	9.5 x 28m	265m <sup>2</sup>	—	—	—	—	—	—	—	—	2	—	—	—	—	—	—	—	—	—	2	0.4%
<b>Subtotal</b>			—	—	—	—	—	—	—	—	7	—	—	—	—	—	—	—	—	—	7	1.3%
<b>30m Deep Product</b>																						
Villa Allotment	10 x 30m	300m <sup>2</sup>	1	6	9	14	—	8	7	11	15	13	14	13	—	—	—	—	—	—	111	21.0%
Premium Villa Allotment	12.5 x 30m	375m <sup>2</sup>	18	18	13	16	—	14	12	21	20	19	15	8	—	—	—	—	—	—	174	33.0%
Courtyard Allotment	14 x 30m	420m <sup>2</sup>	18	14	19	17	—	23	11	21	14	8	11	4	—	—	—	—	—	—	160	30.3%
Traditional Allotment	20 x 30m	600m <sup>2</sup>	5	4	6	6	—	—	—	1	1	—	2	1	—	—	—	—	—	—	26	4.9%
Premium Traditional Allotment	25 x 30m	720m <sup>2</sup>	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	—	—	1	—	—	4	—	—	—	—	—	—	5	0.9%
<b>Subtotal</b>			42	42	47	53	—	45	30	54	51	40	42	30	—	—	—	—	—	—	476	90.2%
<b>Total Residential Allotments</b>			48	44	53	54	—	45	30	57	58	54	49	36	—	—	—	—	—	—	528	100%
<b>Residential Net Density</b>			17.2 dw/ha	18.1 dw/ha	17.8 dw/ha	16.4 dw/ha	—	13.9 dw/ha	14.9 dw/ha	16.5 dw/ha	17.6 dw/ha	17.6 dw/ha	18.0 dw/ha	14.6 dw/ha	—	—	—	—	—	—	15.7 dw/ha	
<b>Super Lots</b>			Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots		
Commercial Allotment			—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	1	—	—	1	
Community Facility			—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	1	—	—	1	
Balance Super Allotments			—	—	—	1	1	—	—	—	—	—	—	—	—	—	—	—	1	—	3	
<b>Sub Total</b>			—	—	—	1	1	—	—	—	—	—	—	—	—	—	—	2	1	—	5	
<b>Total Allotments</b>			48	44	53	55	1	45	30	57	58	54	49	36	—	—	—	2	1	—	533	
<b>Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)</b>			48	44	53	54	—	45	30	57	60	54	49	41	—	—	—	—	—	—	535	
<b>Maximum Potential Net Residential Density</b>			17.2 dw/ha	18.1 dw/ha	17.8 dw/ha	16.4 dw/ha	—	13.9 dw/ha	14.9 dw/ha	16.5 dw/ha	18.2 dw/ha	17.6 dw/ha	18.0 dw/ha	16.7 dw/ha	—	—	—	—	—	—	15.9 dw/ha	

## Land Budget Stage 4

Land Use	Stage 4A	Stage 4B	Stage 4C	Stage 4D	Stage 4E	Stage 4F	Stage 4G	Stage 4H	Stage 4I	Stage 4J	Stage 4K	Stage 4L	Stage 4M	Stage 4N	Stage 4Oi	Stage 4Oii	Stage 4P	Stage 4Q	Overall		
	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	%
<b>Area of Subject Site</b>	3.296 ha	2.426 ha	3.583 ha	4.414 ha	1.716 ha	3.227 ha	2.013 ha	3.452 ha	3.296 ha	3.071 ha	2.955 ha	2.458 ha	0.889 ha	0.914 ha	8.798 ha	6.357 ha	0.864 ha	1.824 ha	246.443 ha	301.996 ha	100.0%
<b>Saleable Area</b>																					
Residential Allotments	2.097 ha	1.811 ha	2.222 ha	2.300 ha	—	1.862 ha	1.397 ha	2.470 ha	2.222 ha	2.072 ha	2.003 ha	1.633 ha	—	—	—	—	—	—	—	22.088 ha	7.3%
Commercial Allotment	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	1.324 ha	—	—	1.324 ha	0.4%
Balance Super Allotments	—	—	—	0.402 ha	0.123 ha	—	—	—	—	—	—	—	—	—	—	—	—	—	246.443 ha	246.968 ha	81.8%
Community Facility	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.500 ha	—	—	0.500 ha	0.2%
<b>Total Area of Allotments</b>	<b>2.097 ha</b>	<b>1.811 ha</b>	<b>2.222 ha</b>	<b>2.702 ha</b>	<b>0.123 ha</b>	<b>1.862 ha</b>	<b>1.397 ha</b>	<b>2.470 ha</b>	<b>2.222 ha</b>	<b>2.072 ha</b>	<b>2.003 ha</b>	<b>1.633 ha</b>	—	—	—	—	<b>1.824 ha</b>	<b>246.443 ha</b>	<b>270.880 ha</b>	<b>89.7%</b>	
<b>Road</b>																					
Collector Road	0.512 ha	—	0.600 ha	0.718 ha	1.427 ha	—	—	—	—	—	0.233 ha	—	—	—	0.436 ha	—	0.864 ha	—	—	4.790 ha	1.6%
Local Road	0.652 ha	0.614 ha	0.762 ha	0.926 ha	—	1.365 ha	0.549 ha	0.982 ha	0.974 ha	0.999 ha	0.683 ha	0.825 ha	—	—	—	—	—	—	—	9.331 ha	3.1%
Linear Connections	0.036 ha	—	—	0.069 ha	0.165 ha	—	0.067 ha	—	0.100 ha	—	0.036 ha	—	—	—	—	—	—	—	—	0.473 ha	0.2%
Entry Statements	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
<b>Total Area of New Road</b>	<b>1.200 ha</b>	<b>0.614 ha</b>	<b>1.362 ha</b>	<b>1.713 ha</b>	<b>1.592 ha</b>	<b>1.365 ha</b>	<b>0.616 ha</b>	<b>0.982 ha</b>	<b>1.074 ha</b>	<b>0.999 ha</b>	<b>0.952 ha</b>	<b>0.825 ha</b>	—	—	<b>0.436 ha</b>	<b>—</b>	<b>0.864 ha</b>	<b>—</b>	<b>14.594 ha</b>	<b>4.8%</b>	
<b>Open Space</b>																					
Corridor Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	8.362 ha	6.357 ha	—	—	—	14.719 ha	4.9%
Conservation (Within Corridor Park)	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	6.357 ha	—	—	—	6.357 ha	
District Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	0.889 ha	0.914 ha	—	—	—	—	1.803 ha	0.6%
Local Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Stormwater Detention	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
<b>Total Open Space</b>	—	—	—	—	—	—	—	—	—	—	—	—	<b>0.889 ha</b>	<b>0.914 ha</b>	<b>8.362 ha</b>	<b>6.357 ha</b>	—	—	—	<b>16.522 ha</b>	<b>5.5%</b>

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PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL  
 Approval no: DEV2012/403/191  
 Date: 24 January 2025

CLIENT  
**PEET**

PROJECT  
**Flagstone Precinct 1**

Plan of Subdivision Stage 4 Overall Statistics

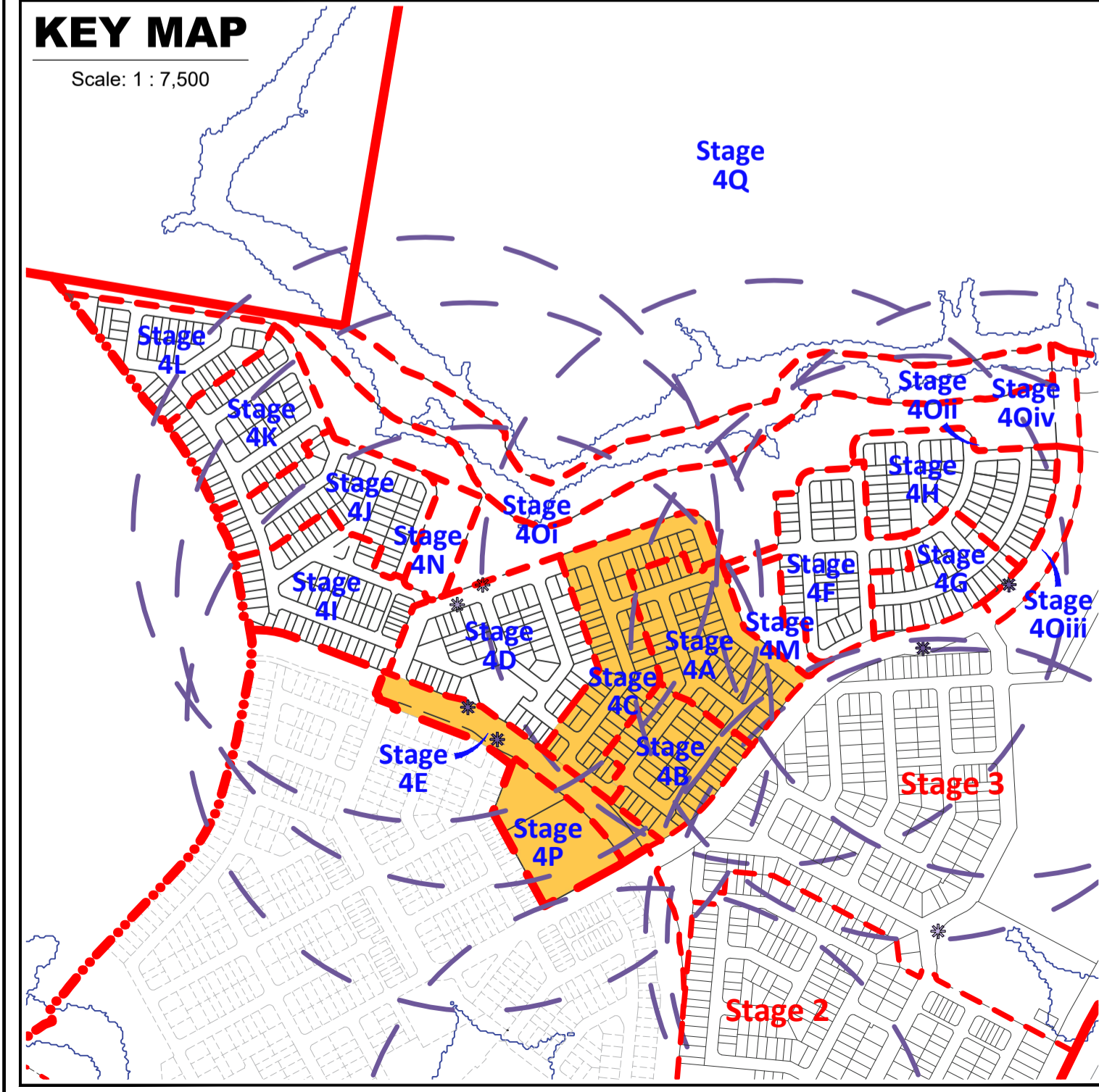
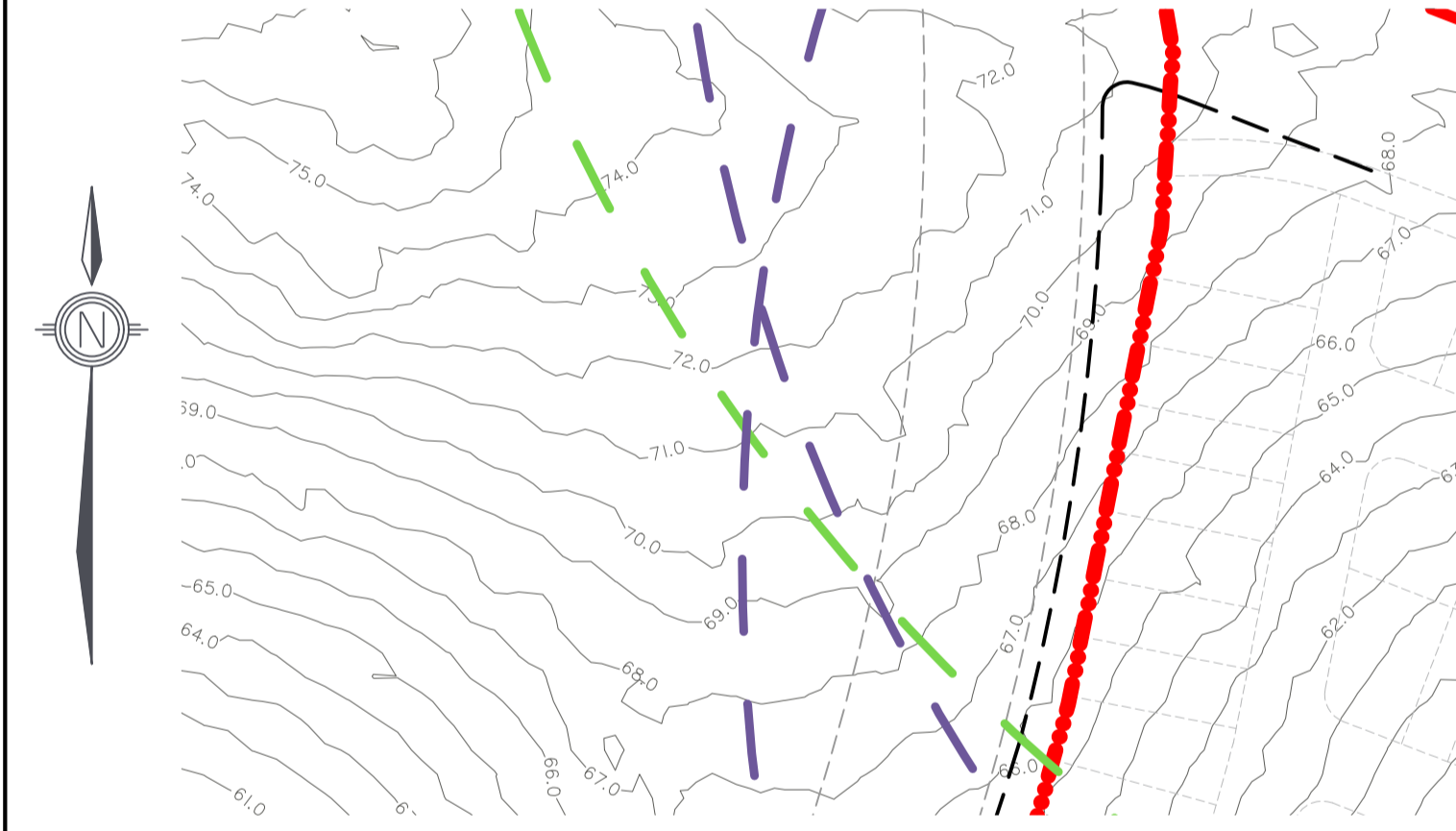
Date: 29 November 2024  
 Comp By: NF  
 Checked By: MD  
 DWG Name: Precinct 1 Stage 4  
 Job Ref: 110056  
 Local Authority: Economic Development Queensland  
 Locality: Flagstone  
 Scale: NTS Sheet A1  
 Plan Ref: 110056 - 392 Rev AN

URBAN DESIGN  
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Yield Breakdown Stage 4								
Residential Allotments	Typical Size	Typical Area	Stage	Stage	Stage	Stage	Stage	Overall
			4A	4B	4C	4E	4P	
<b>Urban &amp; Nano Allotments Product</b>								
Urban Loft	4.7 x 11.5m	50m <sup>2</sup>	—	—	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m <sup>2</sup>	—	—	—	—	—	0.0%
Urban Terrace	6.2 x 27.5m	170m <sup>2</sup>	—	—	—	—	—	0.0%
<b>Subtotal</b>								<b>0.0%</b>
<b>16m Deep Product</b>								
Squat Allotment	14 x 16m	220m <sup>2</sup>	—	—	4	—	—	2.8%
<b>Subtotal</b>					<b>4</b>			<b>2.8%</b>
<b>25m Deep Product</b>								
Villa Allotment	10 x 25m	250m <sup>2</sup>	—	—	—	—	—	0.0%
Premium Villa Allotment	12.5 x 25m	313m <sup>2</sup>	—	—	—	—	—	0.0%
Courtyard Allotment	14 x 25m	350m <sup>2</sup>	6	2	2	—	—	6.9%
Premium Courtyard Allotment	16 x 25m	400m <sup>2</sup>	—	—	—	—	—	0.0%
Premium Traditional Allotment	20 x 25m	500m <sup>2</sup>	—	—	—	—	—	0.0%
<b>Possible Multiple Residential Allotment</b>								<b>0.0%</b>
<b>Subtotal</b>			<b>6</b>	<b>2</b>	<b>2</b>			<b>6.9%</b>
<b>28m Deep Product</b>								
Terrace 7.5m Allotment	7.5 x 28m	210m <sup>2</sup>	—	—	—	—	—	0.0%
Terrace 9.5m Allotment	9.5 x 28m	265m <sup>2</sup>	—	—	—	—	—	0.0%
<b>Subtotal</b>								<b>0.0%</b>
<b>30m Deep Product</b>								
Villa Allotment	10 x 30m	300m <sup>2</sup>	1	6	9	—	—	16.0%
Premium Villa Allotment	12.5 x 30m	375m <sup>2</sup>	18	18	13	—	—	33.8%
Courtyard Allotment	14 x 30m	420m <sup>2</sup>	18	14	19	—	—	35.2%
Traditional Allotment	20 x 30m	600m <sup>2</sup>	5	4	6	—	—	10.3%
Premium Traditional Allotment	25 x 30m	720m <sup>2</sup>	—	—	—	—	—	0.0%
<b>Possible Multiple Residential Allotment</b>								<b>0.0%</b>
<b>Subtotal</b>			<b>42</b>	<b>42</b>	<b>47</b>			<b>90.3%</b>
<b>Total Residential Allotments</b>			<b>48</b>	<b>44</b>	<b>53</b>			<b>100%</b>
<b>Residential Net Density</b>			<b>17.2 dw/ha</b>	<b>18.1 dw/ha</b>	<b>17.8 dw/ha</b>			
<b>Super Lots</b>			<b>Lots</b>	<b>Lots</b>	<b>Lots</b>	<b>Lots</b>	<b>Lots</b>	<b>Lots</b>
Commercial Allotment			—	—	—	1	—	1
Community Facility			—	—	—	—	1	1
Balance Super Allotments			—	—	—	1	—	1
<b>Sub Total</b>						<b>1</b>	<b>2</b>	<b>3</b>
<b>Total Allotments</b>			<b>48</b>	<b>44</b>	<b>53</b>	<b>1</b>	<b>2</b>	<b>148</b>
<b>Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)</b>			<b>48</b>	<b>44</b>	<b>53</b>			<b>145</b>

Land Budget Stage 4						
Land Use	Stage 4A	Stage 4B	Stage 4C	Stage 4E	Stage 4P	Overall
Area of Subject Site	3.296 ha	2.426 ha	3.583 ha	1.716 ha	1.824 ha	112.0%
<b>Saleable Area</b>						
Residential Allotments	2.097 ha	1.811 ha	2.222 ha	—	—	6.129 ha 55.6%
Commercial Allotment	—	—	—	—	1.324 ha	1.324 ha 12.0%
Balance Super Allotments	—	—	—	0.123 ha	—	0.123 ha 1.1%
Community Facility	—	—	—	—	0.500 ha	0.500 ha 4.5%
<b>Total Area of Allotments</b>	<b>2.097 ha</b>	<b>1.811 ha</b>	<b>2.222 ha</b>	<b>0.123 ha</b>	<b>1.324 ha</b>	<b>7.576 ha 68.7%</b>
<b>Road</b>						
Collector Road	0.512 ha	—	0.600 ha	1.427 ha	—	2.539 ha 23.0%
Local Road	0.652 ha	0.614 ha	0.762 ha	—	—	2.028 ha 18.4%
Linear Connections	0.036 ha	—	—	0.165 ha	—	0.201 ha 1.8%
Entry Statements	—	—	—	—	—	— 0.0%
<b>Total Area of New Road</b>	<b>1.200 ha</b>	<b>0.614 ha</b>	<b>1.362 ha</b>	<b>1.592 ha</b>	<b>—</b>	<b>4.768 ha 43.3%</b>
<b>Open Space</b>						
Corridor Park	—	—	—	—	—	— 0.0%
Conservation (Within Corridor Park)	—	—	—	—	—	— 0.0%
District Recreation Park	—	—	—	—	—	— 0.0%
Neighbourhood Recreation Park	—	—	—	—	—	— 0.0%
Local Recreation Park	—	—	—	—	—	— 0.0%
Local Linear Recreation Park	—	—	—	—	—	— 0.0%
Stormwater Detention	—	—	—	—	—	— 0.0%
<b>Total Open Space</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>0.0%</b>



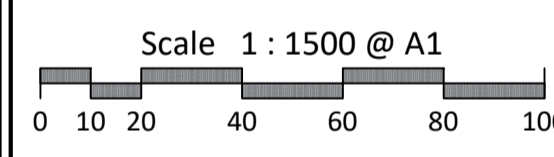
PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL  
 Approval no: DEV2012/403/191  
 Date: 24 January 2025



REVISION  
 AC: 14/11/2022 Stage 5 Boundary Changes  
 AD: 10/01/2023 Stage 3 & 4 Layout Changes  
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**Source Information:**  
 Site boundaries: Registered Survey Plans / Veris  
 Adjoining information: DCDB.  
 Contours: Bradlees.

- Legend**
- Site Boundary
  - - - Proposed Stage Boundary
  - - - Proposed Sub Stage Boundary
  - Existing Q100
  - ⊙ Possible Multiple Residential Allotment (Max. no. of dwellings)
  - ⊙ Indicative Indented Bus Stop Location
  - ⊙ Indicative Temporary In-Line Bus Stop Location
  - Bus Stop Catchment (400m)
  - Neighbourhood Park Catchment (400m)



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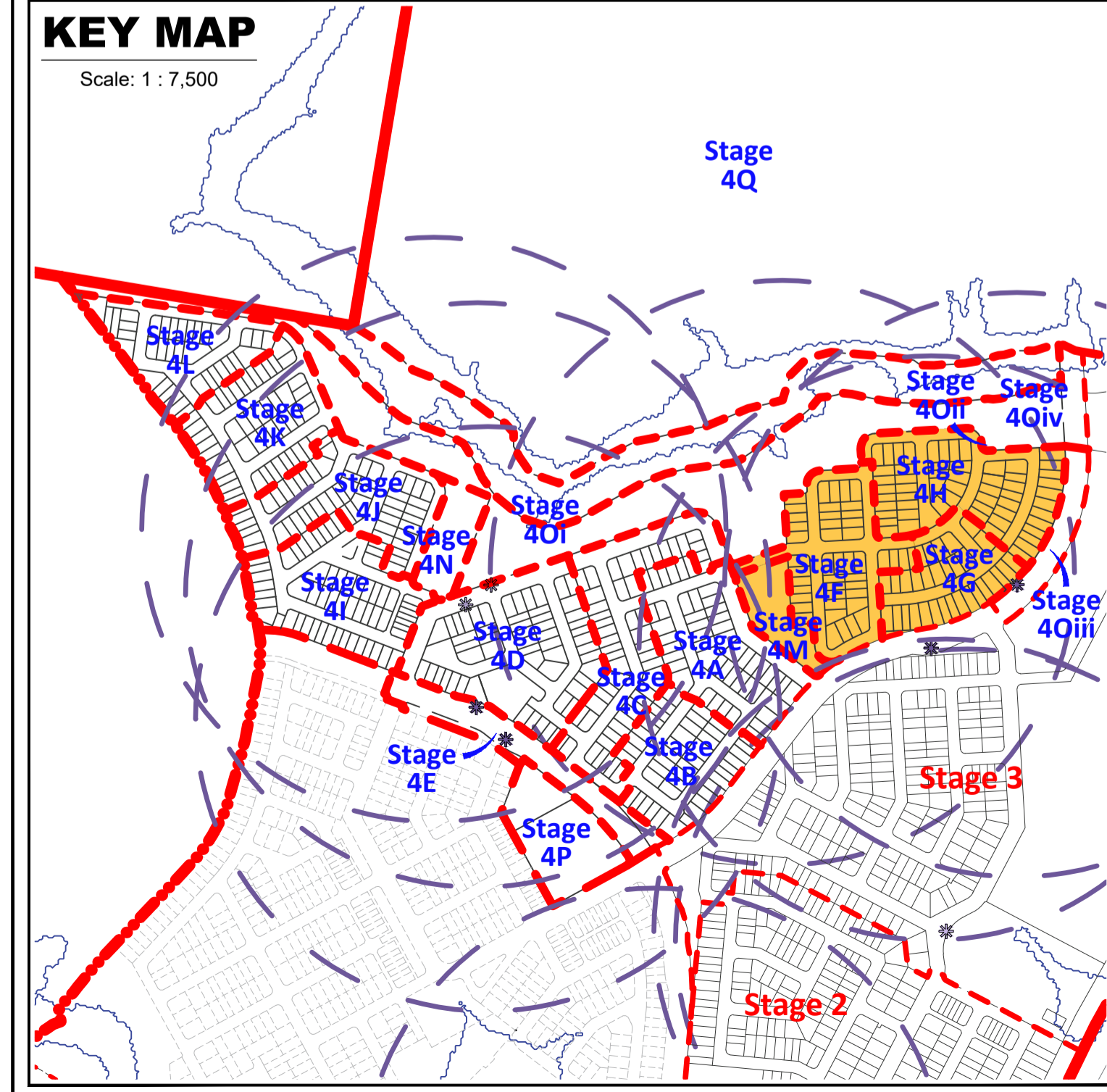
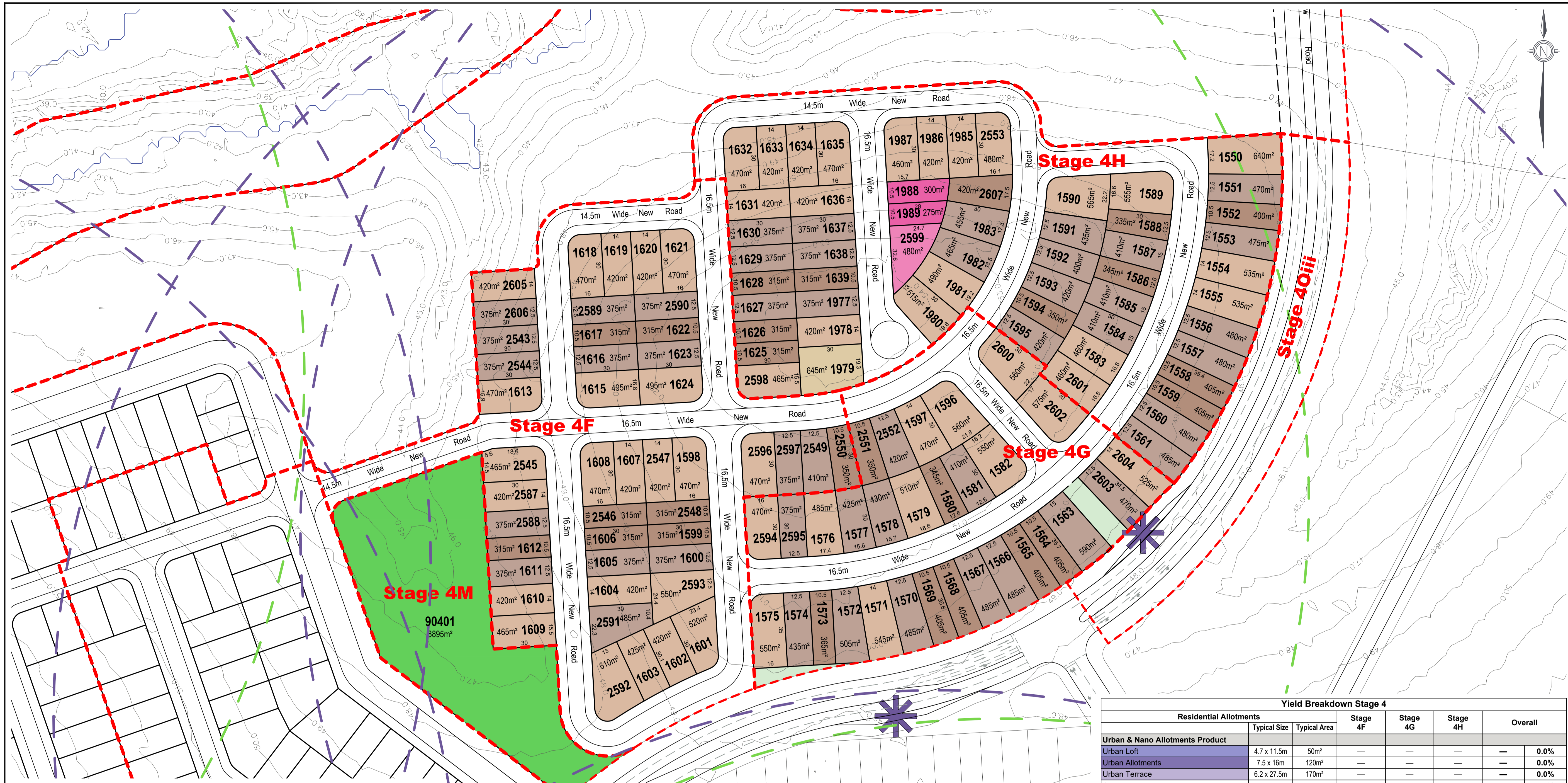
PROJECT  
**Flagstone Precinct 1**  
 Plan of Subdivision  
 Stage 4A, B, C & E  
 Allotment Layout

Date:	29 November 2024
Comp By:	NF
Checked By:	MD
DWG Name:	Precinct 1 Stage 4
Job Ref:	110056
Local Authority:	Economic Development Queensland
Locality:	Flagstone
Scale:	1 : 1500
Sheet:	A1
Plan Ref:	110056 - 393
Rev:	AN

URBAN DESIGN  
 Level 1 H3 South  
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PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL Approval no: DEV2012/403/191 Date: 24 January 2025



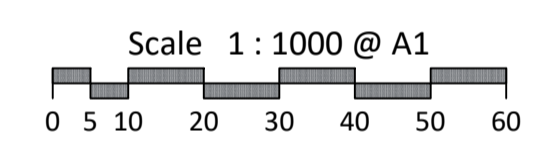
Land Use	Land Budget Stage 4					Overall Area	%
	Stage 4F	Stage 4G	Stage 4H	Stage 4M	Overall		
Area of Subject Site	3.227 ha	2.013 ha	3.452 ha	0.889 ha	9.581 ha	100.0%	
<b>Saleable Area</b>							
Residential Allotments	1.862 ha	1.397 ha	2.470 ha	—	5.728 ha	59.8%	
Commercial Allotment	—	—	—	—	—	0.0%	
Balance Super Allotments	—	—	—	—	—	0.0%	
Community Facility	—	—	—	—	—	0.0%	
<b>Total Area of Allotments</b>	<b>1.862 ha</b>	<b>1.397 ha</b>	<b>2.470 ha</b>	<b>—</b>	<b>5.728 ha</b>	<b>59.8%</b>	
<b>Road</b>							
Collector Road	—	—	—	—	—	0.0%	
Local Road	1.365 ha	0.549 ha	0.982 ha	—	2.896 ha	30.2%	
Linear Connections	—	0.067 ha	—	—	0.067 ha	0.7%	
Entry Statements	—	—	—	—	—	0.0%	
<b>Total Area of New Road</b>	<b>1.365 ha</b>	<b>0.616 ha</b>	<b>0.982 ha</b>	<b>—</b>	<b>2.963 ha</b>	<b>30.9%</b>	
<b>Open Space</b>							
Corridor Park	—	—	—	—	—	0.0%	
Conservation (Within Corridor Park)	—	—	—	—	—	0.0%	
District Recreation Park	—	—	—	—	—	0.0%	
Neighbourhood Recreation Park	—	—	—	0.889 ha	0.889 ha	9.3%	
Local Recreation Park	—	—	—	—	—	0.0%	
Local Linear Recreation Park	—	—	—	—	—	0.0%	
Stormwater Detention	—	—	—	—	—	0.0%	
<b>Total Open Space</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>0.889 ha</b>	<b>0.889 ha</b>	<b>9.3%</b>	

Yield Breakdown Stage 4							
Residential Allotments	Typical Size	Typical Area	Stage 4F	Stage 4G	Stage 4H	Overall	
<b>Urban &amp; Nano Allotments Product</b>							
Urban Loft	4.7 x 11.5m	50m <sup>2</sup>	—	—	—	0.0%	
Urban Allotments	7.5 x 16m	120m <sup>2</sup>	—	—	—	0.0%	
Urban Terrace	6.2 x 27.5m	170m <sup>2</sup>	—	—	—	0.0%	
<b>Subtotal</b>						<b>0.0%</b>	
<b>16m Deep Product</b>							
Squat Allotment	14 x 16m	220m <sup>2</sup>	—	—	—	0.0%	
<b>Subtotal</b>						<b>0.0%</b>	
<b>25m Deep Product</b>							
Villa Allotment	10 x 25m	250m <sup>2</sup>	—	—	2	1.5%	
Premium Villa Allotment	12.5 x 25m	313m <sup>2</sup>	—	—	1	0.8%	
Courtyard Allotment	14 x 25m	350m <sup>2</sup>	—	—	—	0.0%	
Premium Courtyard Allotment	16 x 25m	400m <sup>2</sup>	—	—	—	0.0%	
Premium Traditional Allotment	20 x 25m	500m <sup>2</sup>	—	—	—	0.0%	
Possible Multiple Residential Allotment	—	—	—	—	—	0.0%	
<b>Subtotal</b>					<b>3</b>	<b>0.8%</b>	
<b>28m Deep Product</b>							
Terrace 7.5m Allotment	7.5 x 28m	210m <sup>2</sup>	—	—	—	0.0%	
Terrace 9.5m Allotment	9.5 x 28m	265m <sup>2</sup>	—	—	—	0.0%	
<b>Subtotal</b>						<b>0.0%</b>	
<b>30m Deep Product</b>							
Villa Allotment	10 x 30m	300m <sup>2</sup>	8	7	11	26	19.7%
Premium Villa Allotment	12.5 x 30m	375m <sup>2</sup>	14	12	21	47	35.6%
Courtyard Allotment	14 x 30m	420m <sup>2</sup>	23	11	21	55	41.7%
Traditional Allotment	20 x 30m	600m <sup>2</sup>	—	—	1	1	0.8%
Premium Traditional Allotment	25 x 30m	720m <sup>2</sup>	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	0.0%
<b>Subtotal</b>			<b>45</b>	<b>30</b>	<b>54</b>	<b>129</b>	<b>97.7%</b>
<b>Total Residential Allotments</b>			<b>45</b>	<b>30</b>	<b>57</b>	<b>132</b>	<b>98%</b>
<b>Residential Net Density</b>			<b>13.9 dw/ha</b>	<b>14.9 dw/ha</b>	<b>16.5 dw/ha</b>		
<b>Super Lots</b>			<b>Lots</b>	<b>Lots</b>	<b>Lots</b>	<b>Lots</b>	
Commercial Allotment	—	—	—	—	—	—	—
Community Facility	—	—	—	—	—	—	—
Balance Super Allotments	—	—	—	—	—	—	—
<b>Sub Total</b>							
<b>Total Allotments</b>			<b>45</b>	<b>30</b>	<b>57</b>	<b>132</b>	
<b>Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)</b>			<b>45</b>	<b>30</b>	<b>57</b>	<b>132</b>	

**REVISION**  
 AC: 14/11/2022 Stage 5 Boundary Changes  
 AD: 10/01/2023 Stage 3 & 4 Layout Changes  
 AE: 24/02/2023 Stage 3 & 5 Layout Changes  
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**Source Information:**  
 Site boundaries: Registered Survey Plans / Veris  
 Adjoining information: DCDB.  
 Contours: Bradlees.

- Legend**
- Site Boundary
  - Proposed Stage Boundary
  - Proposed Sub Stage Boundary
  - Existing Q100
  - Possible Multiple Residential Allotment (Max. no. of dwellings)
  - Indicative Indented Bus Stop Location
  - Indicative Temporary In-Line Bus Stop Location
  - Bus Stop Catchment (400m)
  - Neighbourhood Park Catchment (400m)



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PROJECT  
**Flagstone Precinct 1**  
 Plan of Subdivision  
 Stage 4F - H & M  
 Allotment Layout

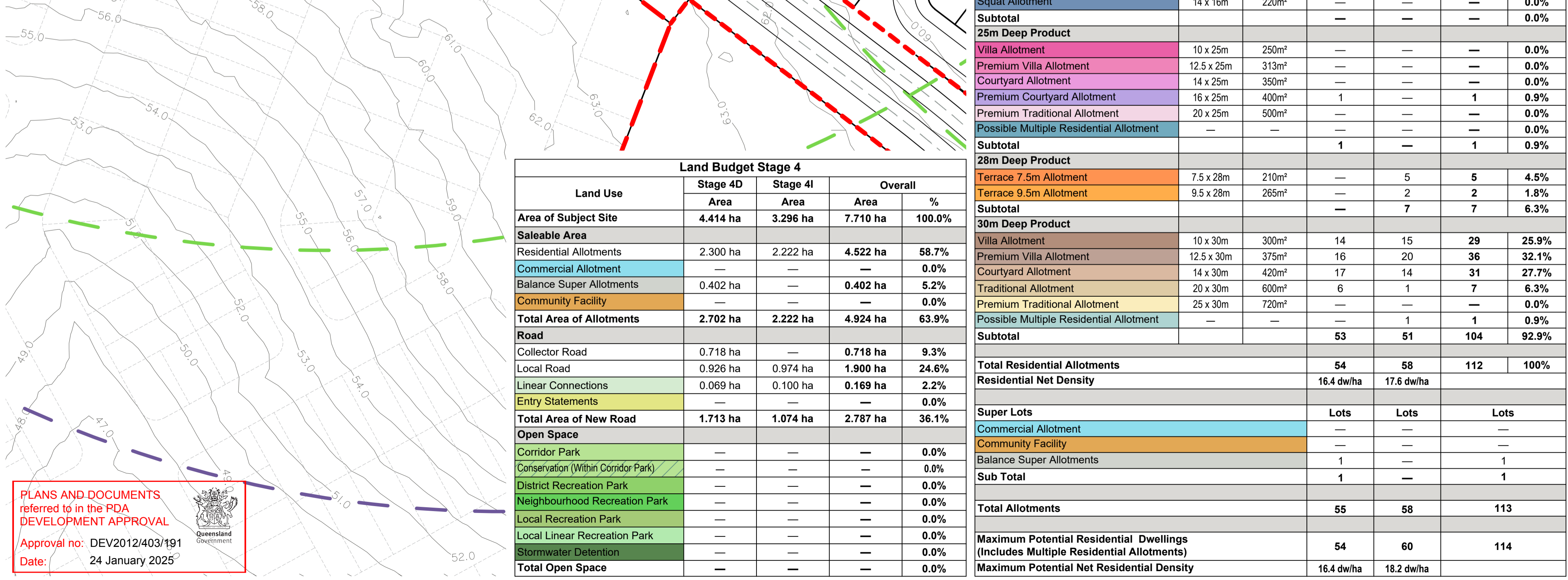
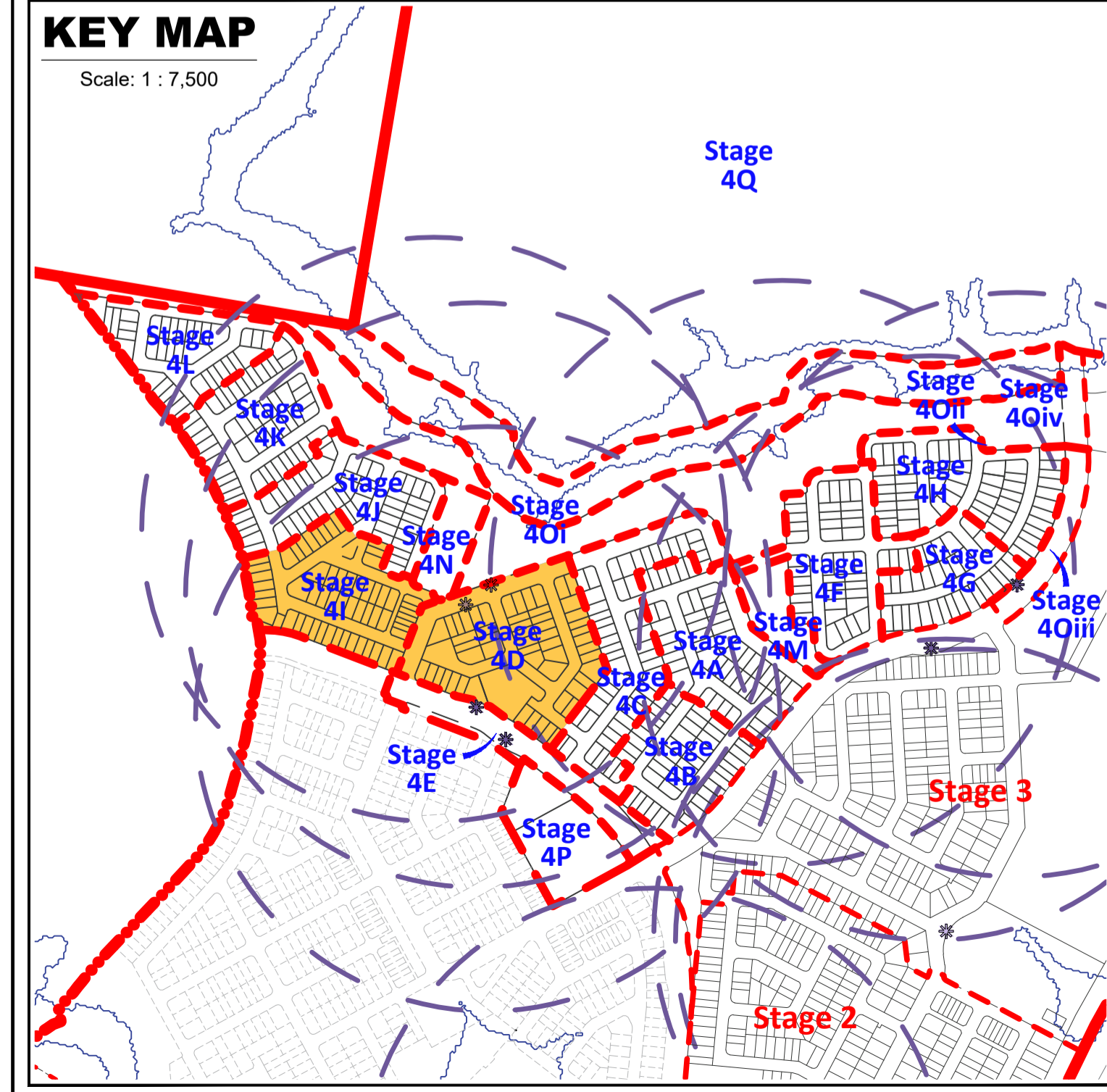
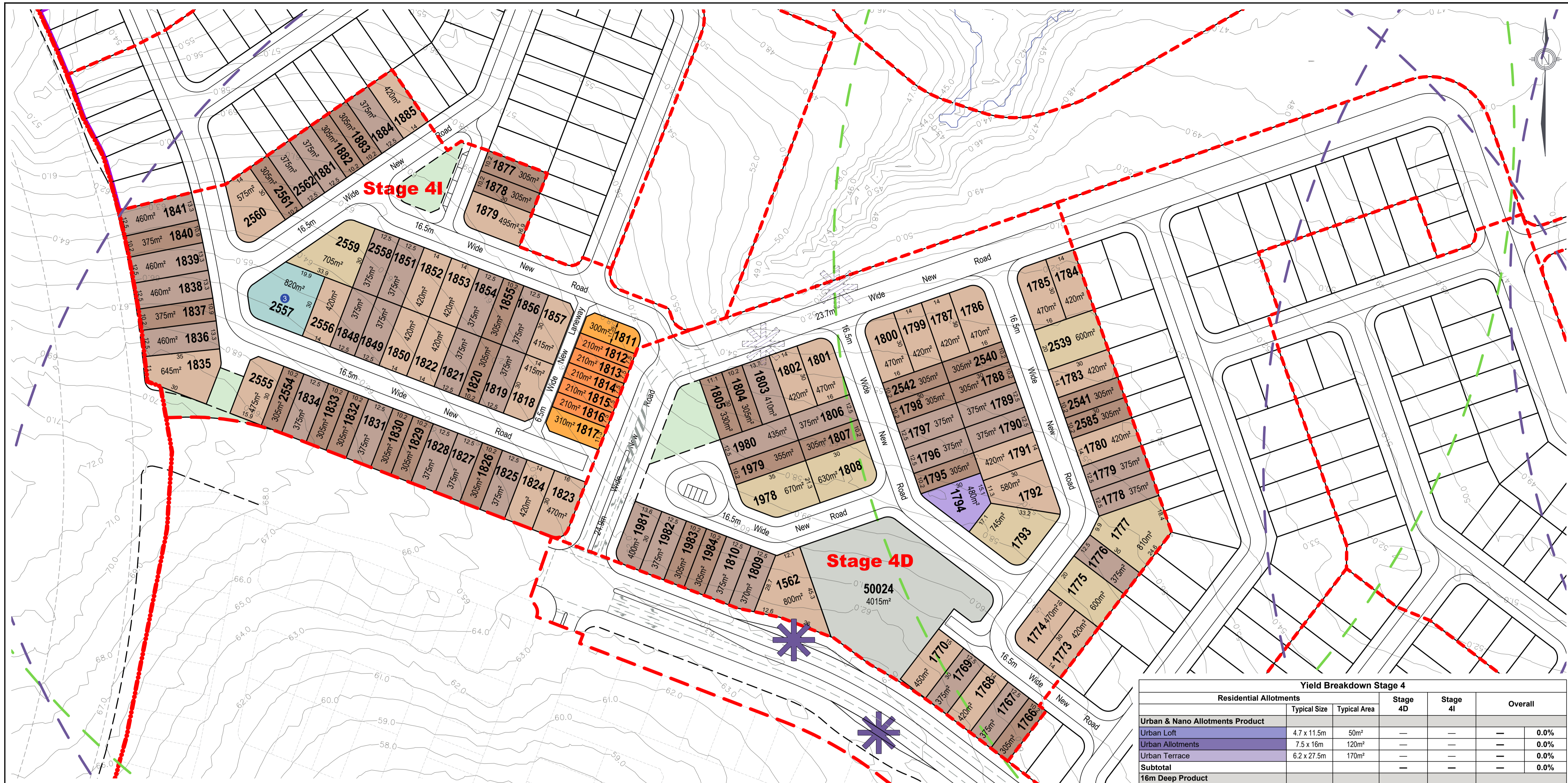
Date: 29 November 2024  
 Comp By: NF  
 Checked By: MD  
 DWG Name: Precinct 1 Stage 4  
 Job Ref: 110056  
 Local Authority: Economic Development Queensland  
 Locality: Flagstone  
 Scale: 1:1000  
 Sheet: A1  
 Plan Ref: 110056 - 394  
 Rev: AN

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 Fortitude Valley QLD 4006  
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**REVISION**

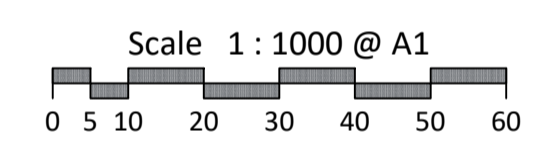
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**Source Information:**  
Site boundaries: Registered Survey Plans / Varis  
Adjoining information: DCDB.  
Contours: Bradlees.

**Legend**

- Site Boundary
- - - Proposed Stage Boundary
- - - Proposed Sub Stage Boundary
- Existing Q100
- ⊙ Possible Multiple Residential Allotment (Max. no. of dwellings)
- ⊙ Indicative Indented Bus Stop Location
- ⊙ Indicative Temporary In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)



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PROJECT  
**Flagstone Precinct 1**  
Plan of Subdivision  
Stage 4D & I  
Allotment Layout

Date: 29 November 2024

Comp By: NF

Checked By: MD

DWG Name: Precinct 1 Stage 4

Job Ref: 110056

Local Authority: Economic Development Queensland

Locality: Flagstone

Scale: 1 : 1000

Sheet: A1

Plan Ref: 110056 - 395

Rev: AN

**URBAN DESIGN**  
Level 10 South  
520 Wickham Street  
PO Box 1559  
Fortitude Valley QLD 4006  
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**Yield Breakdown Stage 4**

Residential Allotments	Typical Size	Typical Area	Stage 4D	Stage 4I	Overall	
<b>Urban &amp; Nano Allotments Product</b>						
Urban Loft	4.7 x 11.5m	50m <sup>2</sup>	—	—	0.0%	
Urban Allotments	7.5 x 16m	120m <sup>2</sup>	—	—	0.0%	
Urban Terrace	6.2 x 27.5m	170m <sup>2</sup>	—	—	0.0%	
<b>Subtotal</b>					0.0%	
<b>16m Deep Product</b>						
Squat Allotment	14 x 16m	220m <sup>2</sup>	—	—	0.0%	
<b>Subtotal</b>					0.0%	
<b>25m Deep Product</b>						
Villa Allotment	10 x 25m	250m <sup>2</sup>	—	—	0.0%	
Premium Villa Allotment	12.5 x 25m	313m <sup>2</sup>	—	—	0.0%	
Courtyard Allotment	14 x 25m	350m <sup>2</sup>	—	—	0.0%	
Premium Courtyard Allotment	16 x 25m	400m <sup>2</sup>	1	—	0.9%	
Premium Traditional Allotment	20 x 25m	500m <sup>2</sup>	—	—	0.0%	
Possible Multiple Residential Allotment	—	—	—	—	0.0%	
<b>Subtotal</b>			1	—	0.9%	
<b>28m Deep Product</b>						
Terrace 7.5m Allotment	7.5 x 28m	210m <sup>2</sup>	—	5	4.5%	
Terrace 9.5m Allotment	9.5 x 28m	265m <sup>2</sup>	—	2	1.8%	
<b>Subtotal</b>				7	6.3%	
<b>30m Deep Product</b>						
Villa Allotment	10 x 30m	300m <sup>2</sup>	14	15	29	25.9%
Premium Villa Allotment	12.5 x 30m	375m <sup>2</sup>	16	20	36	32.1%
Courtyard Allotment	14 x 30m	420m <sup>2</sup>	17	14	31	27.7%
Traditional Allotment	20 x 30m	600m <sup>2</sup>	6	1	7	6.3%
Premium Traditional Allotment	25 x 30m	720m <sup>2</sup>	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	1	1	0.9%
<b>Subtotal</b>			53	51	104	92.9%
<b>Total Residential Allotments</b>			54	58	112	100%
<b>Residential Net Density</b>			16.4 dw/ha	17.6 dw/ha		
<b>Super Lots</b>			Lots	Lots	Lots	
Commercial Allotment			—	—	—	
Community Facility			—	—	—	
Balance Super Allotments			1	—	1	
<b>Sub Total</b>			1	—	1	
<b>Total Allotments</b>			55	58	113	
<b>Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)</b>			54	60	114	
<b>Maximum Potential Net Residential Density</b>			16.4 dw/ha	18.2 dw/ha		

**Land Budget Stage 4**

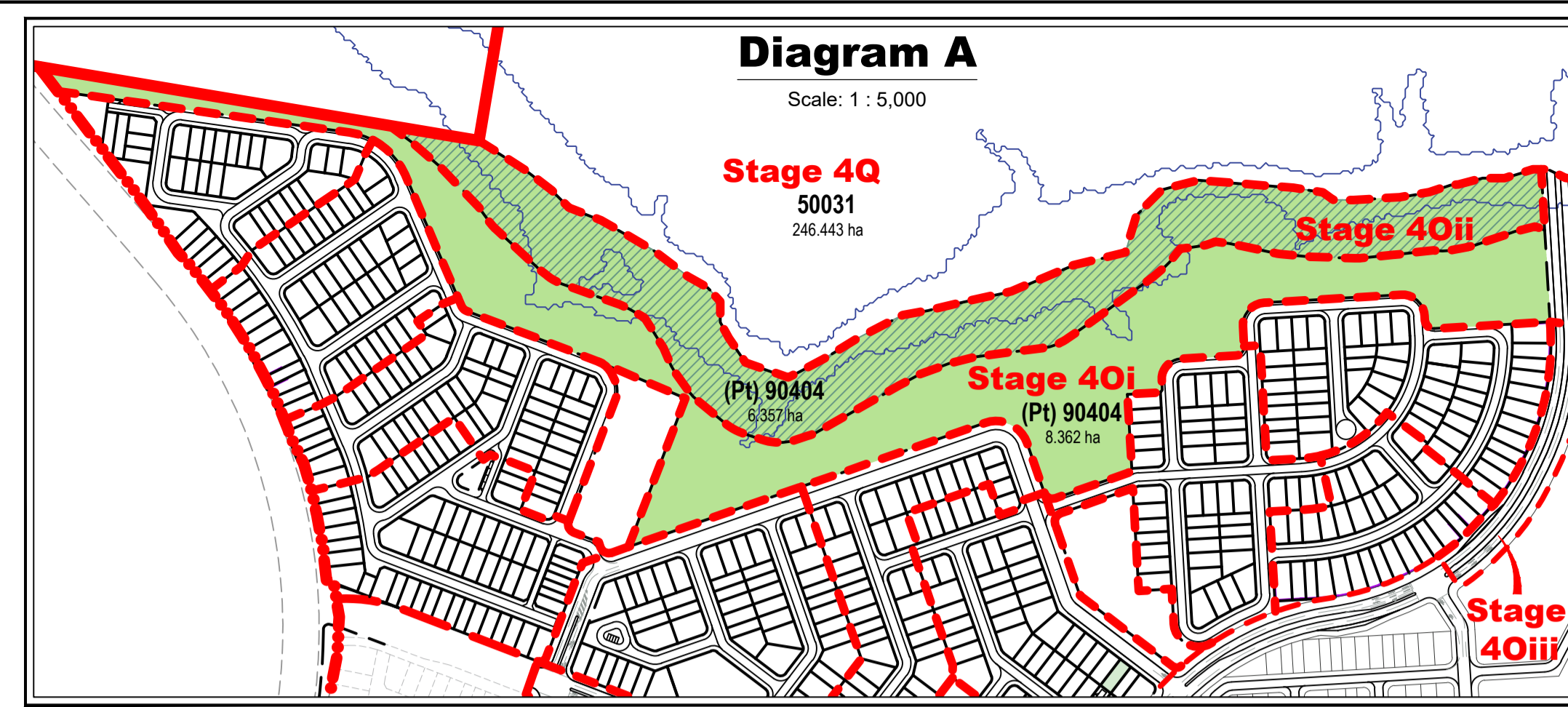
Land Use	Stage 4D	Stage 4I	Overall	%
<b>Area of Subject Site</b>	4.414 ha	3.296 ha	7.710 ha	100.0%
<b>Saleable Area</b>				
Residential Allotments	2.300 ha	2.222 ha	4.522 ha	58.7%
Commercial Allotment	—	—	—	0.0%
Balance Super Allotments	0.402 ha	—	0.402 ha	5.2%
Community Facility	—	—	—	0.0%
<b>Total Area of Allotments</b>	2.702 ha	2.222 ha	4.924 ha	63.9%
<b>Road</b>				
Collector Road	0.718 ha	—	0.718 ha	9.3%
Local Road	0.926 ha	0.974 ha	1.900 ha	24.6%
Linear Connections	0.069 ha	0.100 ha	0.169 ha	2.2%
Entry Statements	—	—	—	0.0%
<b>Total Area of New Road</b>	1.713 ha	1.074 ha	2.787 ha	36.1%
<b>Open Space</b>				
Corridor Park	—	—	—	0.0%
Conservation (Within Corridor Park)	—	—	—	0.0%
District Recreation Park	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	0.0%
Local Recreation Park	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	0.0%
Stormwater Detention	—	—	—	0.0%
<b>Total Open Space</b>	—	—	—	0.0%

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/191

Date: 24 January 2025



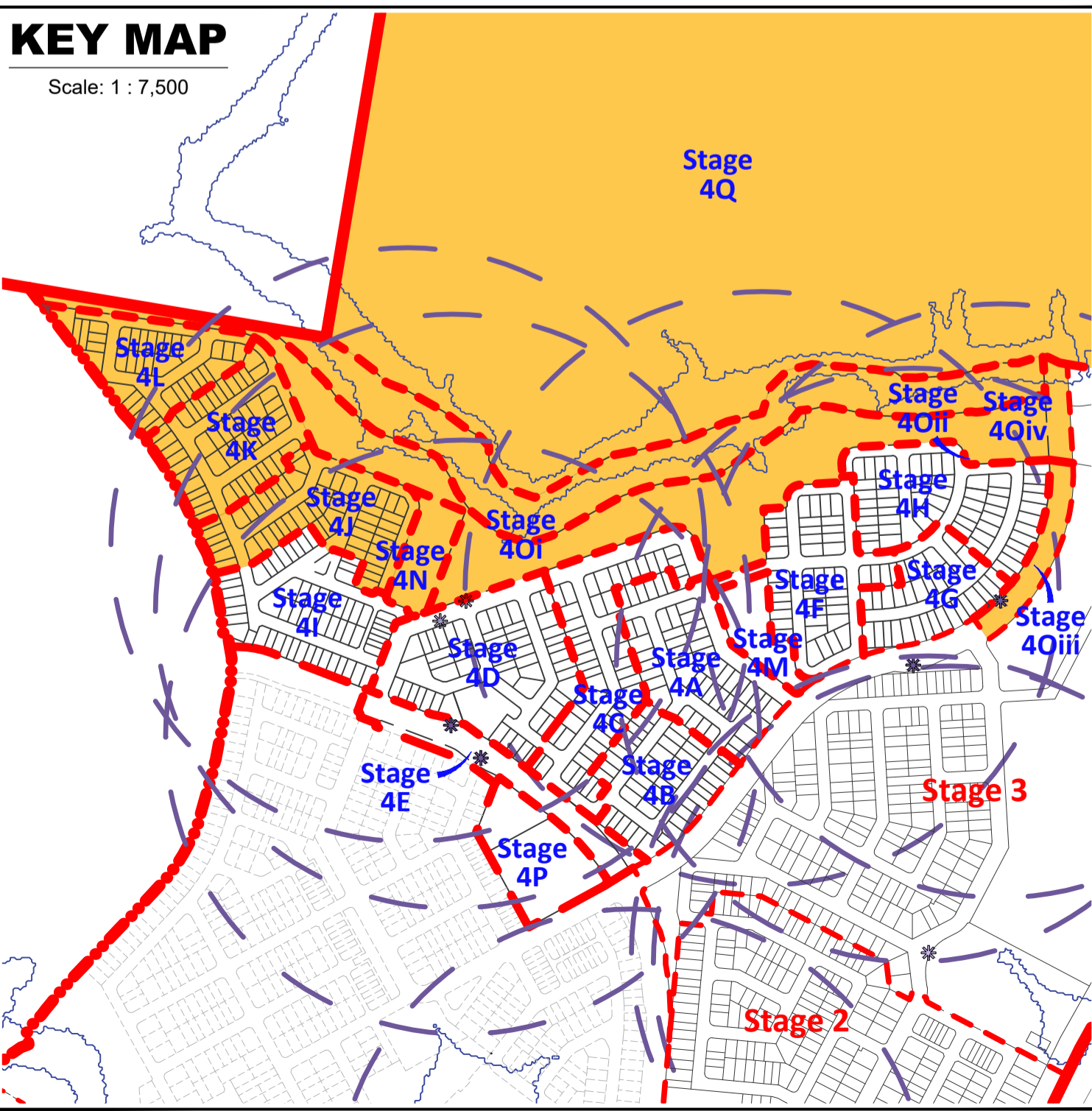
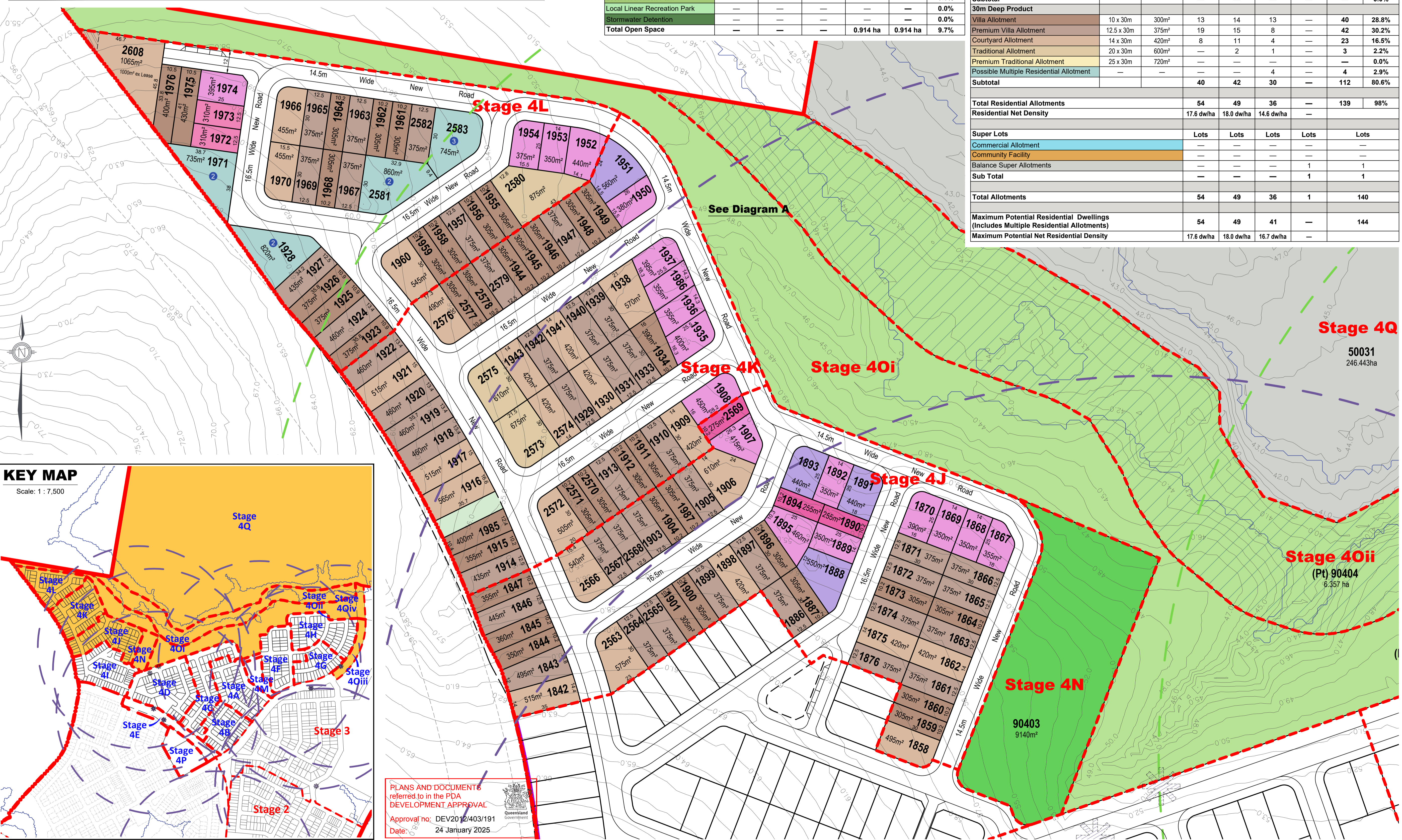


#### Land Budget Stage 4

Land Use	Stage 4J	Stage 4K	Stage 4L	Stage 4N	Overall	
	Area	Area	Area	Area	Area	%
<b>Area of Subject Site</b>	<b>3.071 ha</b>	<b>2.955 ha</b>	<b>2.458 ha</b>	<b>0.914 ha</b>	<b>9.398 ha</b>	<b>100.0%</b>
<b>Saleable Area</b>						
Residential Allotments	2.072 ha	2.003 ha	1.633 ha	—	5.708 ha	60.7%
Commercial Allotment	—	—	—	—	—	0.0%
Balance Super Allotments	—	—	—	—	—	0.0%
Community Facility	—	—	—	—	—	0.0%
<b>Total Area of Allotments</b>	<b>2.072 ha</b>	<b>2.003 ha</b>	<b>1.633 ha</b>	<b>—</b>	<b>5.708 ha</b>	<b>60.7%</b>
<b>Road</b>						
Collector Road	—	0.233 ha	—	—	0.233 ha	2.5%
Local Road	0.999 ha	0.683 ha	0.825 ha	—	2.507 ha	26.7%
Linear Connections	—	0.036 ha	—	—	0.036 ha	0.4%
Entry Statements	—	—	—	—	—	0.0%
<b>Total Area of New Road</b>	<b>0.999 ha</b>	<b>0.952 ha</b>	<b>0.825 ha</b>	<b>—</b>	<b>2.776 ha</b>	<b>29.5%</b>
<b>Open Space</b>						
Corridor Park	—	—	—	—	—	0.0%
Conservation (Within Corridor Park)	—	—	—	—	—	0.0%
District Recreation Park	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	0.914 ha	0.914 ha	9.7%
Local Recreation Park	—	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	—	0.0%
Stormwater Detention	—	—	—	—	—	0.0%
<b>Total Open Space</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>0.914 ha</b>	<b>0.914 ha</b>	<b>9.7%</b>

#### Yield Breakdown Stage 4

Residential Allotments	Typical Size	Typical Area	Stage 4J	Stage 4K	Stage 4L	Stage 4Q	Overall
			Lots	Lots	Lots	Lots	
<b>Urban &amp; Nano Allotments Product</b>							
Urban Loft	4.7 x 11.5m	50m <sup>2</sup>	—	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m <sup>2</sup>	—	—	—	—	0.0%
Urban Terrace	6.2 x 27.5m	170m <sup>2</sup>	—	—	—	—	0.0%
<b>Subtotal</b>							<b>0.0%</b>
<b>16m Deep Product</b>							
Squat Allotment	14 x 16m	220m <sup>2</sup>	—	—	—	—	0.0%
<b>Subtotal</b>							<b>0.0%</b>
<b>25m Deep Product</b>							
Villa Allotment	10 x 25m	250m <sup>2</sup>	3	—	—	—	3
Premium Villa Allotment	12.5 x 25m	313m <sup>2</sup>	—	—	2	—	2
Courtyard Allotment	14 x 25m	350m <sup>2</sup>	8	6	4	—	18
Premium Courtyard Allotment	16 x 25m	400m <sup>2</sup>	3	1	—	—	4
Premium Traditional Allotment	20 x 25m	500m <sup>2</sup>	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	0.0%
<b>Subtotal</b>			<b>14</b>	<b>7</b>	<b>6</b>	<b>—</b>	<b>27</b>
<b>28m Deep Product</b>							
Terrace 7.5m Allotment	7.5 x 28m	210m <sup>2</sup>	—	—	—	—	0.0%
Terrace 9.5m Allotment	9.5 x 28m	265m <sup>2</sup>	—	—	—	—	0.0%
<b>Subtotal</b>							<b>0.0%</b>
<b>30m Deep Product</b>							
Villa Allotment	10 x 30m	300m <sup>2</sup>	13	14	13	—	40
Premium Villa Allotment	12.5 x 30m	375m <sup>2</sup>	19	15	8	—	42
Courtyard Allotment	14 x 30m	420m <sup>2</sup>	8	11	4	—	23
Traditional Allotment	20 x 30m	600m <sup>2</sup>	—	2	1	—	3
Premium Traditional Allotment	25 x 30m	720m <sup>2</sup>	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	4
<b>Subtotal</b>			<b>40</b>	<b>42</b>	<b>30</b>	<b>—</b>	<b>112</b>
<b>Total Residential Allotments</b>			<b>54</b>	<b>49</b>	<b>36</b>	<b>—</b>	<b>139</b>
<b>Residential Net Density</b>			<b>17.6 dw/ha</b>	<b>18.0 dw/ha</b>	<b>14.6 dw/ha</b>	<b>—</b>	<b>—</b>
<b>Super Lots</b>			<b>Lots</b>	<b>Lots</b>	<b>Lots</b>	<b>Lots</b>	<b>Lots</b>
Commercial Allotment	—	—	—	—	—	—	—
Community Facility	—	—	—	—	—	—	—
Balance Super Allotments	—	—	—	—	—	1	1
<b>Sub Total</b>			<b>—</b>	<b>—</b>	<b>—</b>	<b>1</b>	<b>1</b>
<b>Total Allotments</b>			<b>54</b>	<b>49</b>	<b>36</b>	<b>1</b>	<b>140</b>
<b>Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)</b>			<b>54</b>	<b>49</b>	<b>41</b>	<b>—</b>	<b>144</b>
<b>Maximum Potential Net Residential Density</b>			<b>17.6 dw/ha</b>	<b>18.0 dw/ha</b>	<b>16.7 dw/ha</b>	<b>—</b>	<b>—</b>



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/191

Date: 24 January 2025

REVISION

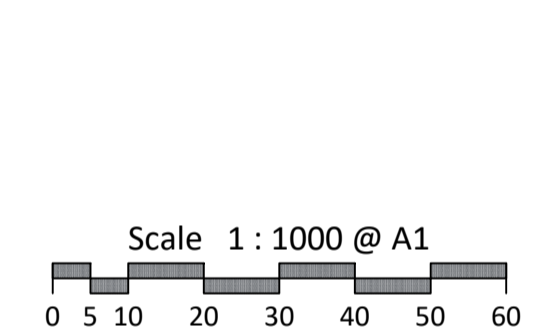
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**Note:**  
 All dimensions and areas are approximate only, and are subject to survey and Council approval.  
 Dimensions have been rounded to the nearest 0.1 metres.  
 Areas have been rounded down to the nearest 5m<sup>2</sup>.  
 The boundaries shown on this plan should not be used for final detailed engineers design.  
 Road linemarkings and turn slots are indicative only and subject to detailed design.

**Source Information:**  
 Site boundaries: Registered Survey Plans / Veris.  
 Adjoining information: DCDB.  
 Contours: Bradlees.

### Legend

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- Indicative Indented Bus Stop Location
- Indicative Temporary In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)
- Entry Statements - Lease



CLIENT

# PEET

PROJECT

## Flagstone Precinct 1

Plan of Subdivision  
 Stage 4J, K, L, N, O & Q  
 Allotment Layout

Date: 29 November 2024

Comp By: NF

Checked By: MD

DWG Name: Precinct 1 Stage 4

Job Ref: 110056

Local Authority: Economic Development Queensland

Locality: Flagstone

Scale: 1 : 1000

Sheet: A1

Plan Ref: 110056 - 396

Rev: AN

URBAN DESIGN  
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# RPS

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### Legend

#### General

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- Entry Statements - Lease

#### Open Space

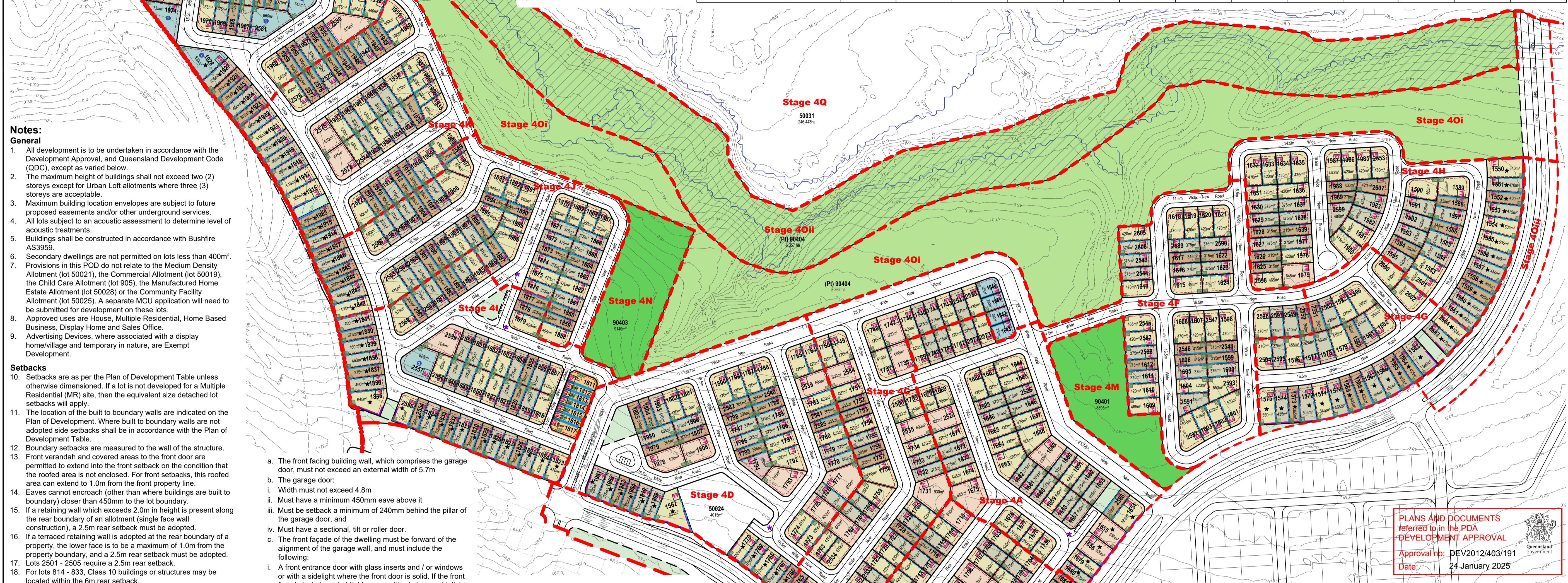
- District Recreation Park
- Corridor Park
- Conservation Within Corridor Park
- Neighbourhood Recreation Park
- Local Recreation Park
- Local Linear Recreation Park
- Stormwater Detention
- Linear Connections

#### Allotment Details

- Preferred Private Open Space Location
- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
- 2m High Solid Timber Fence
- Preferred Garage Location
- Preferred Single Garage Location
- Letterbox Location for Primary Dwelling (on a laneway)
- Lot Impacted by Potential Acoustic Requirements
- Bin Pad

### Plan of Development Table

	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)		
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m
Rear	0.0m	0.0m	1.5m	1.5m	0.0m	0.0m	0.9m	0.9m	1.0m	1.5m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m	
* Additional setback required on some allotments - refer POD Notes 14-16.																											
<b>Side - General Lots</b>																											
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	n/a	n/a	n/a	n/a	n/a	n/a
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a	n/a	n/a	n/a	n/a	n/a	n/a
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m	
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m	
<b>Laneway Lots</b>																											
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Site Cover	90%		75%		75%		75%		75%		75%		65%		60%		60%		60%		60%		60%		60%		75%



- ### Notes:
- #### General
- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
  - The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
  - Maximum building location envelopes are subject to future proposed easements and/or underground services.
  - All lots subject to an acoustic assessment to determine level of acoustic treatments.
  - Buildings shall be constructed in accordance with Bushfire AS3959.
  - Secondary dwellings are not permitted on lots less than 400m<sup>2</sup>. Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
  - Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
  - Advertising Devices, where associated with a display home/village and temporary in nature, are Exempt Development.
- #### Setbacks
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
  - The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
  - Boundary setbacks are measured to the wall of the structure.
  - Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
  - Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
  - If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
  - If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
  - Lots 2501 - 2505 require a 2.5m rear setback.
  - For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
  - A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/landscape buffer and therefore in these cases a secondary frontage setback does not apply.
  - In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
    - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
    - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

- The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m.
- The garage door:
  - Width must not exceed 4.8m
  - Must have a minimum 450mm eave above it
  - Must be setback a minimum of 240mm behind the pillar of the garage door, and
  - Must have a sectional, tilt or roller door.
- The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
  - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
  - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
  - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
  - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide."

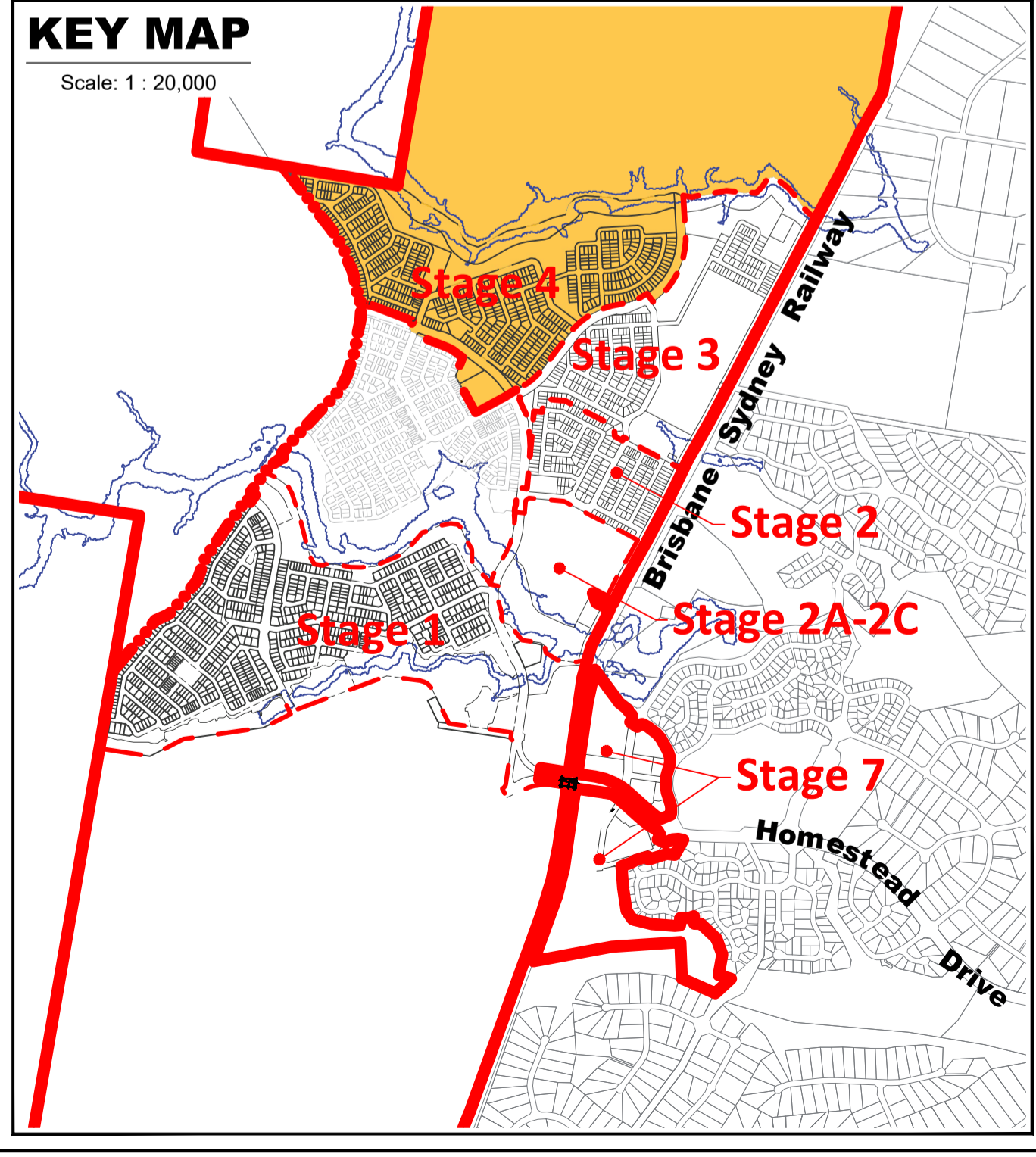
- #### Private Open Space
- Private open space must measure a minimum of 10m<sup>2</sup> with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments
  - Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
    - 1 Bedroom / Studio - 5m<sup>2</sup> (minimum dimension of 1.2m);
    - 2 Bedroom - 9m<sup>2</sup> (minimum dimension on 2.4m);
    - 3+ Bedroom - 12m<sup>2</sup> (minimum dimension of 2.4m)
  - Private open space must be directly accessible from a living space.
- #### On-site car parking and driveways
- On-site car parking is to be provided in accordance with the following minimum requirements:
    - For lots up to 12.4 metres wide - 1 covered space per dwelling;
    - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
    - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
  - Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:

- Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.
  - Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
  - The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
  - Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle.
  - Maximum of one driveway per dwelling unless it is a MR lot.
  - Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
  - Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
  - Driveways must be completed prior to occupation of the dwelling.
- #### Fencing
- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
  - Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
  - Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill palings or panels.
  - Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.

- #### Retaining Walls
- For retaining walls **not** constructed by the developer:
    - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
    - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
  - No timber retaining walls over 1.0m or adjoining parks or public streets.
  - Walls over 1.0m require RPEQ certification.
  - At least two openings to all habitable rooms to facilitate cross flow ventilation are required.
- #### Building Articulation
- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
    - Windows recessed into the facade or bay windows;
    - Balconies, porches or verandahs;
    - Articulation of roof lines
    - Window hoods; and/or
    - Use of multiple cladding materials
  - Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
  - Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
  - All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
  - Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
  - Homes must include a clearly identifiable and addressed front door and undercover point of entry.

- #### Slope and Building Footings
- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
  - If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
  - Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.
- #### Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)
- Buildings must address all street frontages with driveways, pedestrian entries or both.
  - All dwellings must have a clearly identifiable front door, which is undercover.
  - Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
  - Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

- #### Additional Criteria for Secondary Dwellings
- Floor area must be between a minimum of 30m<sup>2</sup> and 75m<sup>2</sup>.
  - Materials, detailing, colours and roof form are consistent with those of the primary house.
  - Outdoor living space must measure a minimum of 9m<sup>2</sup> with a minimum dimension in any direction of 3 metres.
  - Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
  - Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
  - A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
  - The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
  - Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
  - Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.
- #### Definitions
- Laneway Allotment - Allotments serviced by a laneway.



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/191

Date: 24 January 2025

### REVISION

AC: 14/11/2022 Stage 5 Boundary Changes  
 AD: 10/01/2023 Stage 3 & 4 Layout Changes  
 AE: 24/02/2023 Stage 3 & 5 Layout Changes  
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 Site boundaries: Registered Survey Plans / Veris  
 Adjoining information: DCDB.  
 Contours: Bradlees.

Scale 1 : 2000 @ A1

0 20 40 60 80 100 120

CLIENT

# PEET

PROJECT

## Flagstone Precinct 1

Plan of Development Stage 4 Overall Residential Allotments

Date: 29 November 2024

Comp By: NF

Checked By: MD

DWG Name: Precinct 1 Stage 4

Job Ref: 110056

Local Authority: Economic Development Queensland

Locality: Flagstone

Scale: 1 : 2000

Sheet: A1

Plan Ref: 110056 - 397

Rev: AN

URBAN DESIGN  
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 520 Wickham Street  
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  - Buildings shall be constructed in accordance with Bushfire AS3959.
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  - Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
  - Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
  - If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
  - If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
  - Lots 2501 - 2505 require a 2.5m rear setback.
  - For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
  - A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
  - In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
    - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
    - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

- Private Open Space**
- Private open space must measure a minimum of 10m<sup>2</sup> with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
  - Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
    - 1 Bedroom / Studio - 5m<sup>2</sup> (minimum dimension of 1.2m);
    - 2 Bedroom - 9m<sup>2</sup> (minimum dimension of 2.4m);
    - 3+ Bedroom - 12m<sup>2</sup> (minimum dimension of 2.4m)
  - Private open space must be directly accessible from a living space.

- On-site car parking and driveways**
- On-site car parking is to be provided in accordance with the following minimum requirements:
    - For lots up to 12.4 metres wide - 1 covered space per dwelling;
    - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
    - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
  - Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
    - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
    - The garage door:
      - Width must not exceed 4.8m
      - Must have a minimum 450mm eave above it
      - Must be setback a minimum of 240mm behind the pillar of the garage door, and
      - Must have a sectional, tilt or roller door.
    - The front façade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
      - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
      - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
      - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
    - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.\*
  - Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.
  - Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
  - The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
  - Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle.
  - Maximum of one driveway per dwelling unless it is a MR lot.

- Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
- Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
- Driveways must be completed prior to occupation of the dwelling.

- Fencing**
- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
  - Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
  - Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill palings or panels.
  - Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
  - Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
  - Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.

- Retaining Walls**
- For retaining walls **not** constructed by the developer:
    - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
    - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
  - No timber retaining walls over 1.0m or adjoining parks or public streets.
  - Walls over 1.0m require RPEQ certification.

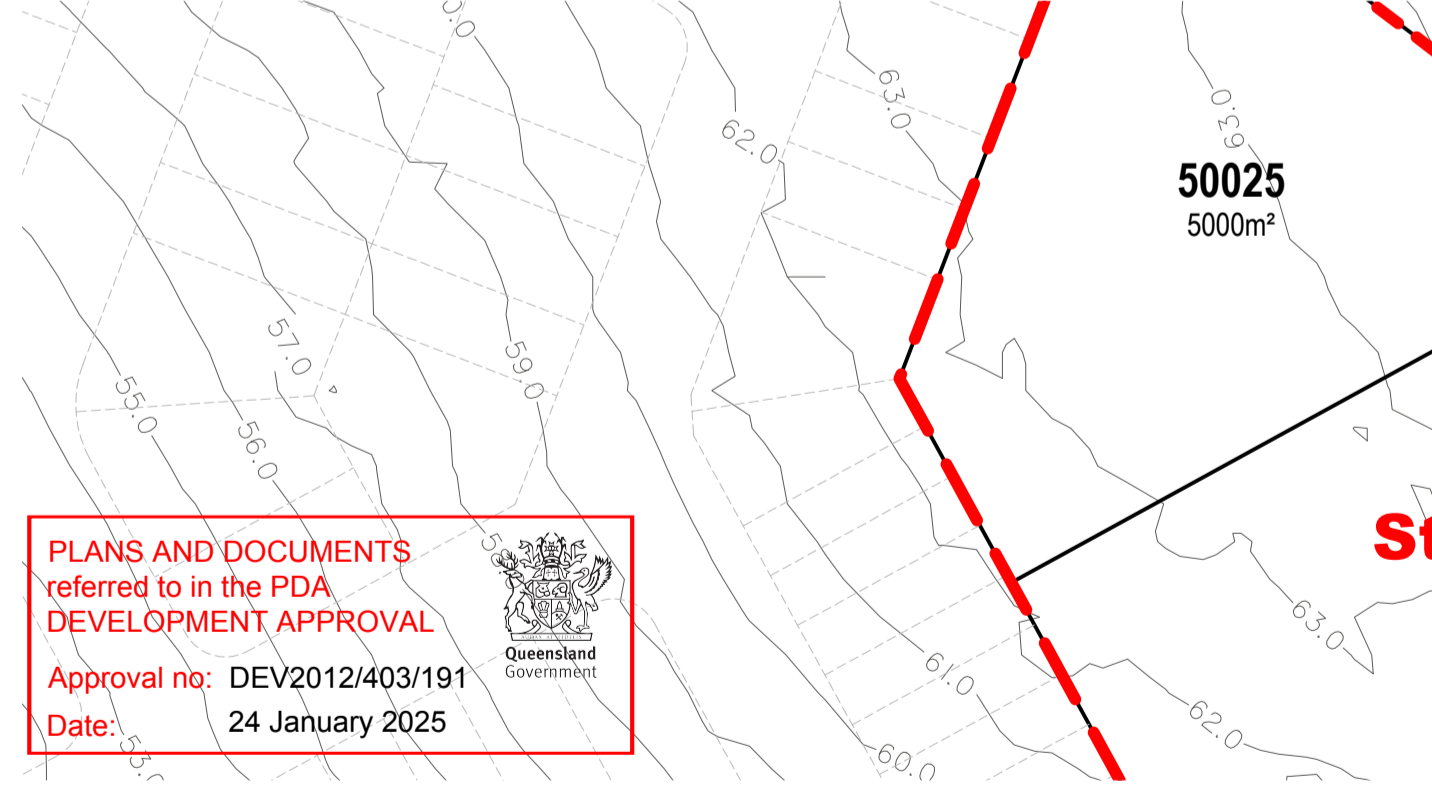
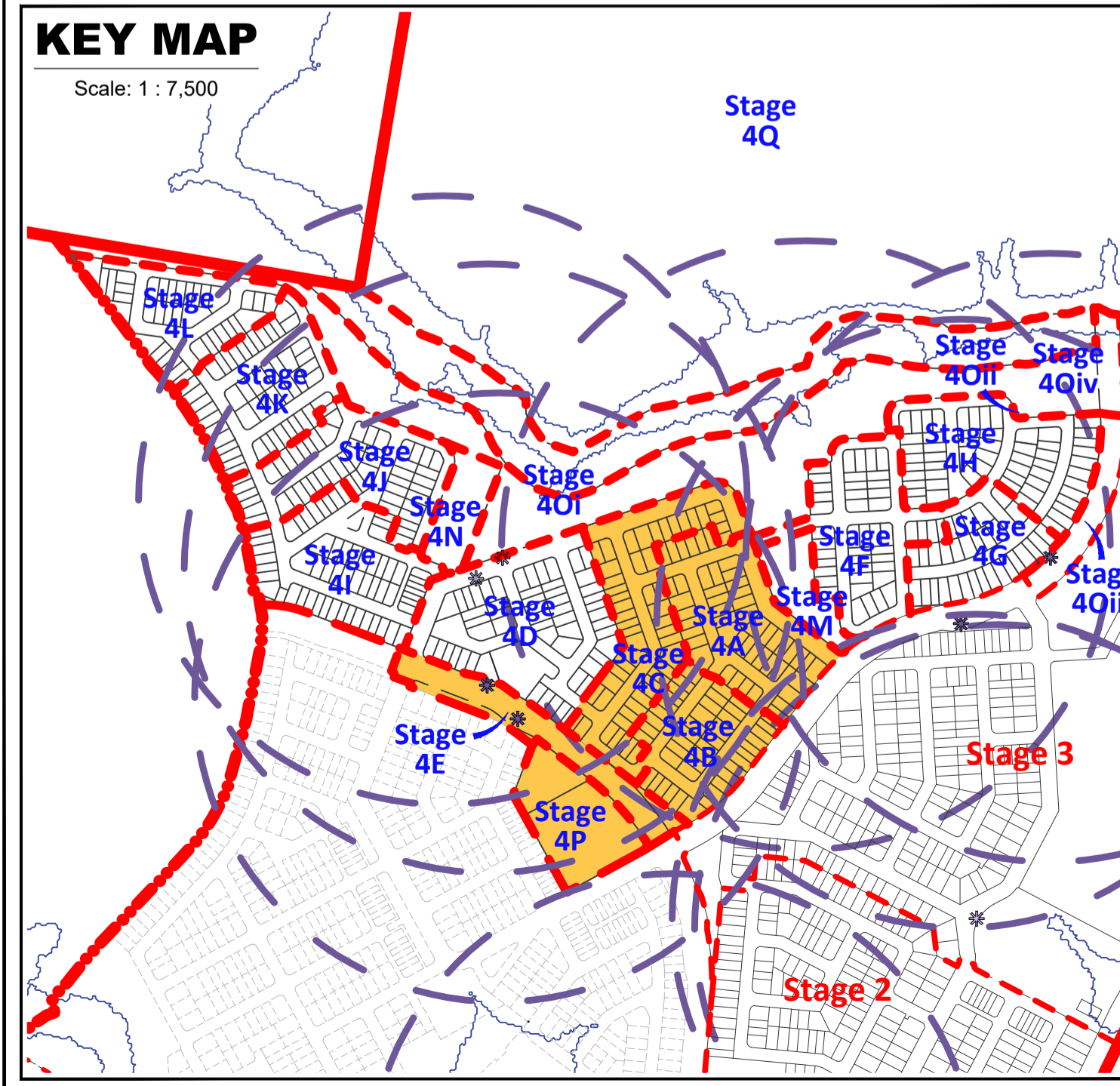
- Building Articulation**
- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
    - Windows recessed into the façade or bay windows;
    - Balconies, porches or verandahs;
    - Articulation of roof lines
    - Window hoods; and/or
    - Use of multiple cladding materials
  - Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
  - Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
  - All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
  - Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
  - Homes must include a clearly identifiable and addressed front door and undercover point of entry.
  - Screened drying and rubbish bins area must be behind the main face of the dwelling.
  - At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

- Slope and Building Footings**
- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
  - If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
  - Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

- Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)**
- Buildings must address all street frontages with driveways, pedestrian entries or both.
  - All dwellings must have a clearly identifiable front door, which is undercover.
  - Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
  - Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

- Additional Criteria for Secondary Dwellings**
- Floor area must be between a minimum of 30m<sup>2</sup> and 75m<sup>2</sup>.
  - Materials, detailing, colours and roof form are consistent with those of the primary house.
  - Outdoor living space must measure a minimum of 9m<sup>2</sup> with a minimum dimension in any direction of 3 metres.
  - Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
  - Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
  - A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
  - The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
  - Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
  - Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

- Definitions**
- Laneway Allotment - Allotments serviced by a laneway.



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL  
Approval no: DEV2012/403/191  
Date: 24 January 2025

Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)		
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	
Rear	0.0m*	0.0m*	1.5m*	1.5m*	0.0m*	0.0m*	0.9m*	0.9m*	1.0m*	1.5m*	0.9m*	0.9m*	0.9m*	0.9m*	1.0m*	1.0m*	1.0m*	1.5m*	1.0m*	1.5m*	1.5m*	2.0m*	1.5m*	2.0m*	1.5m*	1.5m*	
* Additional setback required on some allotments - refer POD Notes 14-16.																											
<b>Side - General Lots</b>																											
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a	n/a	n/a	n/a	n/a	n/a	n/a
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m	
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m
<b>Laneway Lots</b>																											
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Site Cover	90%		75%		75%		75%		75%		75%		65%		60%		60%		60%		60%		60%		60%		75%

**Legend**

**General**

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- Entry Statements - Lease

**Open Space**

- Corridor Park
- Neighbourhood Recreation Park
- Local Linear Recreation Park
- Linear Connections

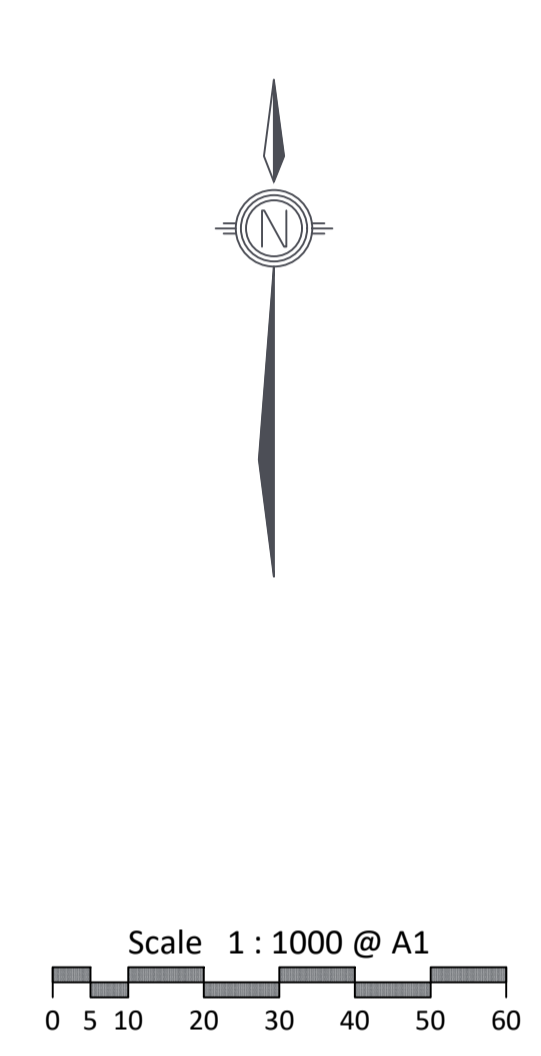
**Allotment Details**

- Preferred Private Open Space Location
- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
- 2m High Solid Timber Fence
- Preferred Garage Location
- Preferred Single Garage Location
- Letterbox Location for Primary Dwelling (on a laneway)
- Lot Impacted by Potential Acoustic Requirements
- Bin Pad

**REVISION**

AC:	14/11/2022	Stage 5 Boundary Changes
AD:	10/01/2023	Stage 3 & 4 Layout Changes
AE:	24/02/2023	Stage 3 & 5 Layout Changes
AF:	20/03/2023	Stage 3 & 5 Layout Changes
AG:	13/04/2023	Stage 3 & 5 Layout Changes
AH:	25/04/2023	Stage 4 Layout Changes
AI:	08/08/2023	Stage 5 Basin Change
AJ:	12/02/2024	Stage 5R Layout Change
AK:	15/08/2024	Stage 4 Layout Change
AL:	23/08/2024	Stage 4 Layout Change
AM:	27/09/2024	Stage 4 Layout Change
AN:	29/11/2024	Stage 4 Layout Change

**Note:**  
All dimensions and areas are approximate only, and are subject to survey and Council approval.  
Dimensions have been rounded to the nearest 0.1 metres.  
Areas have been rounded down to the nearest 5m<sup>2</sup>.  
The boundaries shown on this plan should not be used for final detailed engineers design.  
Road linemarkings and turn slots are indicative only and subject to detailed design.  
**Source Information:**  
Site boundaries: Registered Survey Plans / Veris.  
Adjoining Information: DCDB.  
Contours: Bradlees.



**CLIENT**  
**PEET**

**PROJECT**  
**Flagstone Precinct 1**

Plan of Development  
Stage 4A, B & C  
Residential Allotments

Date:	29 November 2024
Comp By:	NF
Checked By:	MD
DWG Name:	Precinct 1 Stage 4
Job Ref:	110056
Local Authority:	Economic Development Queensland
Locality:	Flagstone
Scale:	1 : 1000
Sheet:	A1
Plan Ref:	110056 - 398
Rev:	AN

**URBAN DESIGN**  
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**rps**

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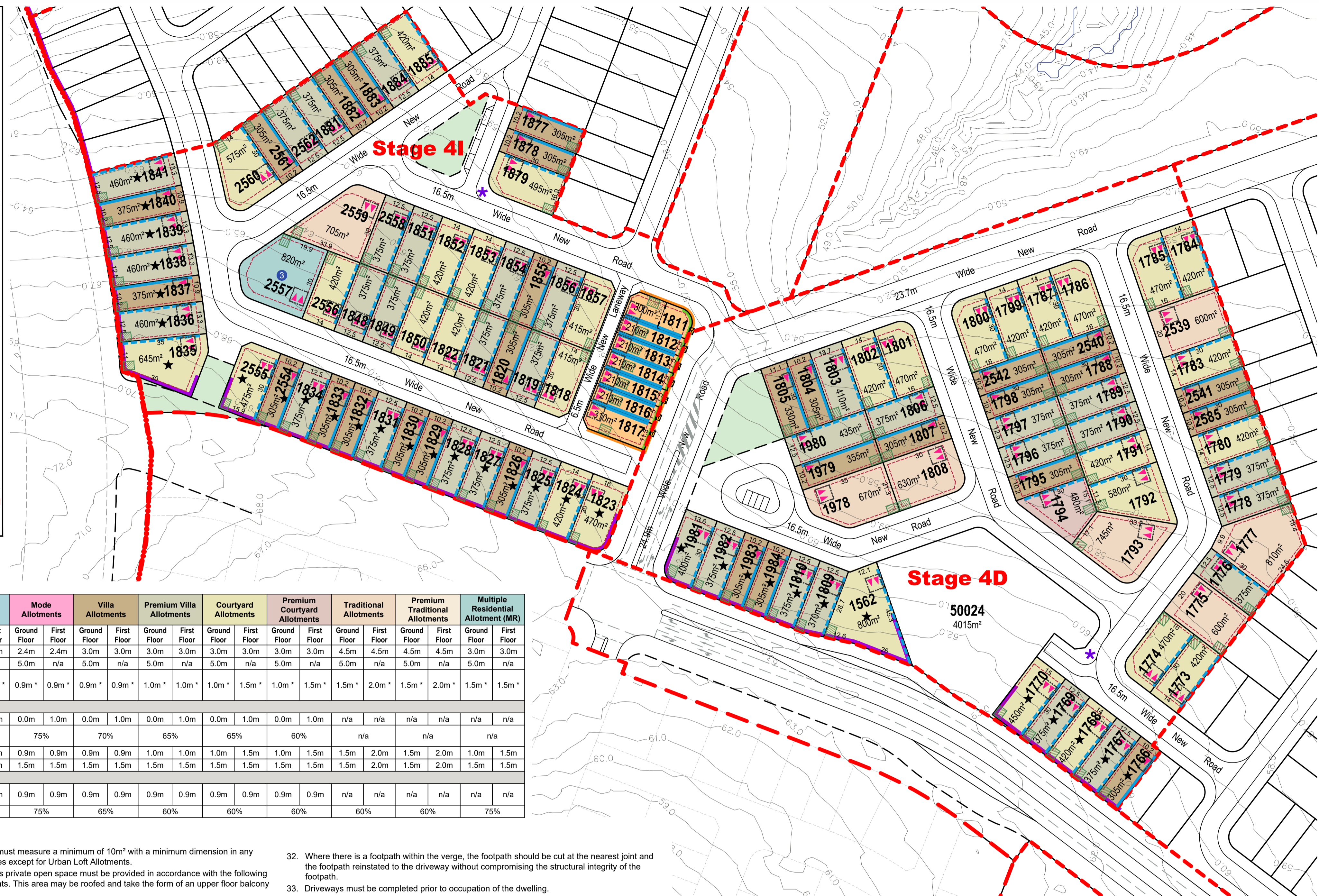
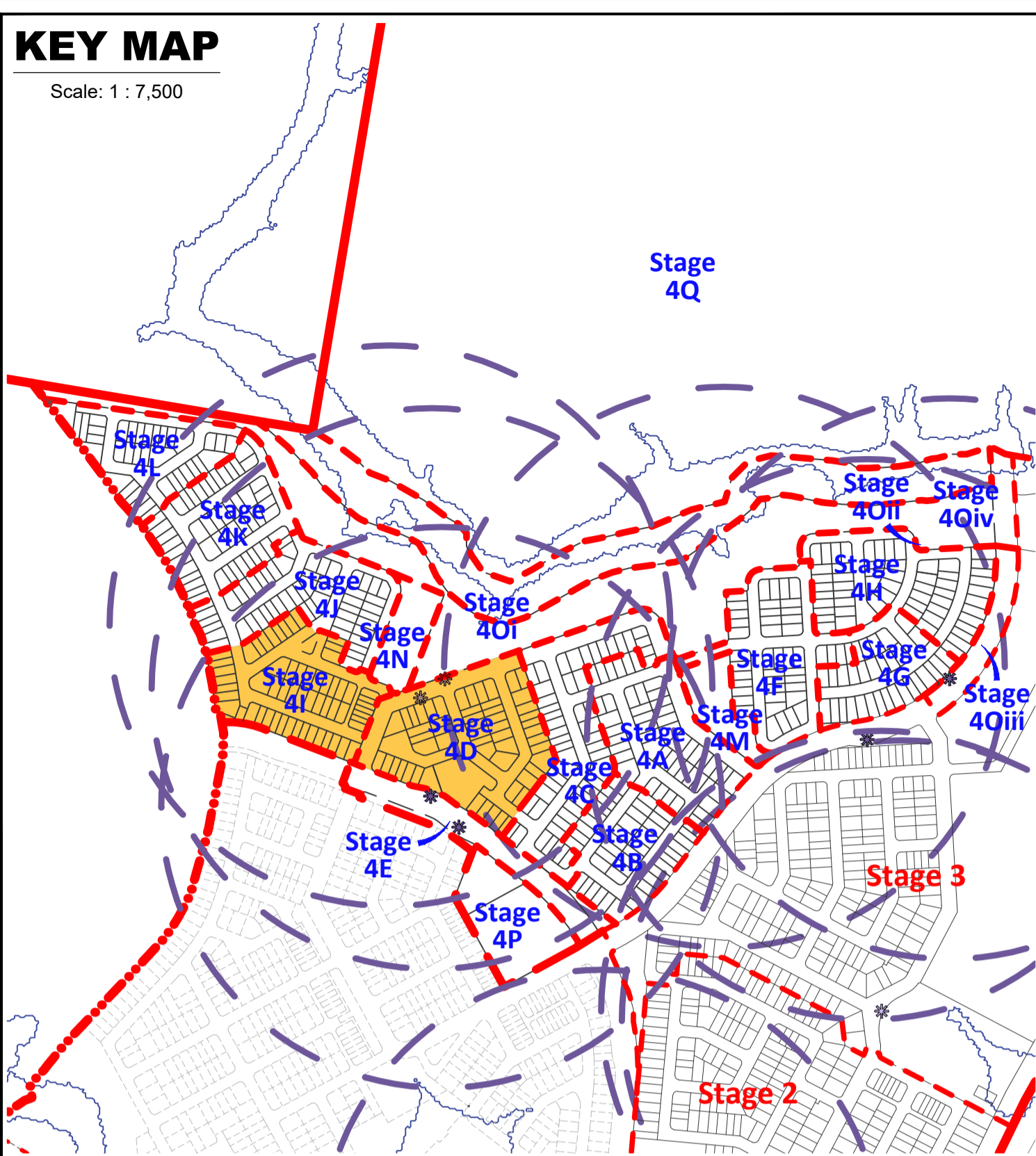






**KEY MAP**

Scale: 1 : 7,500



Plan of Development Table	Urban Loft Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Traditional Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a
Rear	0.0m*	0.0m*	1.5m*	1.5m*	0.0m*	0.0m*	0.9m*	0.9m*	1.0m*	1.5m*	0.9m*	0.9m*	0.9m*	0.9m*	1.0m*	1.0m*	1.0m*	1.5m*	2.0m*	1.5m*	2.0m*	1.5m*	1.5m*	
* Additional setback required on some allotments - refer POD Notes 14-16.																								
<b>Side - General Lots</b>																								
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	n/a
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		n/a		n/a		n/a	
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	1.5m	1.5m	1.5m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m
<b>Laneway Lots</b>																								
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a
Site Cover	90%		75%		75%		75%		75%		75%		65%		60%		60%		60%		60%		75%	

**Notes:**

**General**

- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
  - The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
  - Maximum building location envelopes are subject to future proposed easements and/or other underground services.
  - All lots subject to an acoustic assessment to determine level of acoustic treatments.
  - Buildings shall be constructed in accordance with Bushfire AS3959.
  - Secondary dwellings are not permitted on lots less than 400m².
  - Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
  - Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
  - Advertising Devices, where associated with a display home/village and temporary in nature, are Exempt Development.
- Setbacks**
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
  - The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
  - Boundary setbacks are measured to the wall of the structure.
  - Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
  - Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
  - If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
  - If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
  - Lots 2501 - 2505 require a 2.5m rear setback.
  - For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
  - A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
  - In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
    - In the case of Urban Loft, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
    - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

**Private Open Space**

- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
- Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
  - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
  - 2 Bedroom - 9m² (minimum dimension on 2.4m);
  - 3+ Bedroom - 12m² (minimum dimension of 2.4m)
- Private open space must be directly accessible from a living space.

**On-site car parking and driveways**

- On-site car parking is to be provided in accordance with the following minimum requirements:
  - For lots up to 12.4 metres wide - 1 covered space per dwelling;
  - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
  - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
- Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
  - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
  - The garage door:
    - Width must not exceed 4.8m
    - Must have a minimum 450mm eave above it
    - Must be setback a minimum of 240mm behind the pillar of the garage door, and
    - Must have a sectional, tilt or roller door.
  - The front façade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
    - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
    - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
    - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
  - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide."
- Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.
- Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
- The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
- Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle.
- Maximum of one driveway per dwelling unless it is a MR lot.
- Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.

- Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
- Driveways must be completed prior to occupation of the dwelling.

**Fencing**

- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
- Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
- Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill palings or panels.
- Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
- Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
- Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.

**Retaining Walls**

- For retaining walls **not** constructed by the developer:
  - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
  - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
- No timber retaining walls over 1.0m or adjoining parks or public streets.
- Walls over 1.0m require RPEQ certification.

**Building Articulation**

- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
  - Windows recessed into the façade or bay windows;
  - Balconies, porches or verandahs;
  - Articulation of roof lines
  - Window hoods; and/or
  - Use of multiple cladding materials
- Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
- Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
- Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.

- Homes must include a clearly identifiable and addressed front door and undercover point of entry.
- Screened drying and rubbish bins area must be behind the main face of the dwelling.
- At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

**Slope and Building Footings**

- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
- If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
- Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

**Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)**

- Buildings must address all street frontages with driveways, pedestrian entries or both.
- All dwellings must have a clearly identifiable front door, which is undercover.
- Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
- Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

**Additional Criteria for Secondary Dwellings**

- Floor area must be between a minimum of 30m² and 75m².
- Materials, detailing, colours and roof form are consistent with those of the primary house.
- Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
- Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
- A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
- The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
- Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
- Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

**Definitions**

Laneway Allotment - Allotments serviced by a laneway.

**Legend**

- General**
- Site Boundary
  - Proposed Precinct Boundary
  - Proposed Stage Boundary
  - Proposed Sub Stage Boundary
  - Possible Multiple Residential Allotment (Max. no. of dwellings)
  - Entry Statements - Lease
- Open Space**
- District Recreation Park
  - Corridor Park
  - Neighbourhood Recreation Park
  - Local Recreation Park
  - Local Linear Recreation Park
  - Stormwater Detention
  - Linear Connections
- Allotment Details**
- Preferred Private Open Space Location
  - Maximum Building Location Envelope
  - Mandatory Built to Boundary Wall
  - Nominal Built to Boundary Wall
  - No Vehicle Access
  - Primary Frontage
  - 2m High Solid Timber Fence
  - Preferred Garage Location
  - Preferred Single Garage Location
  - Letterbox Location for Primary Dwelling (on a laneway)
  - Lot Impacted by Potential Acoustic Requirements
  - Bin Pad

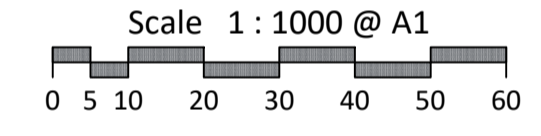


**REVISION**

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**Source Information:**  
Site boundaries: Registered Survey Plans / Varis  
Adjoining information: DCDB.  
Contours: Bradlees.

**PLANS AND DOCUMENTS** referred to in the PDA DEVELOPMENT APPROVAL  
Approval no: DEV2012/403/191  
Date: 24 January 2025



CLIENT  
**PEET**

PROJECT  
**Flagstone Precinct 1**  
Plan of Development Stage 4D & I Residential Allotments

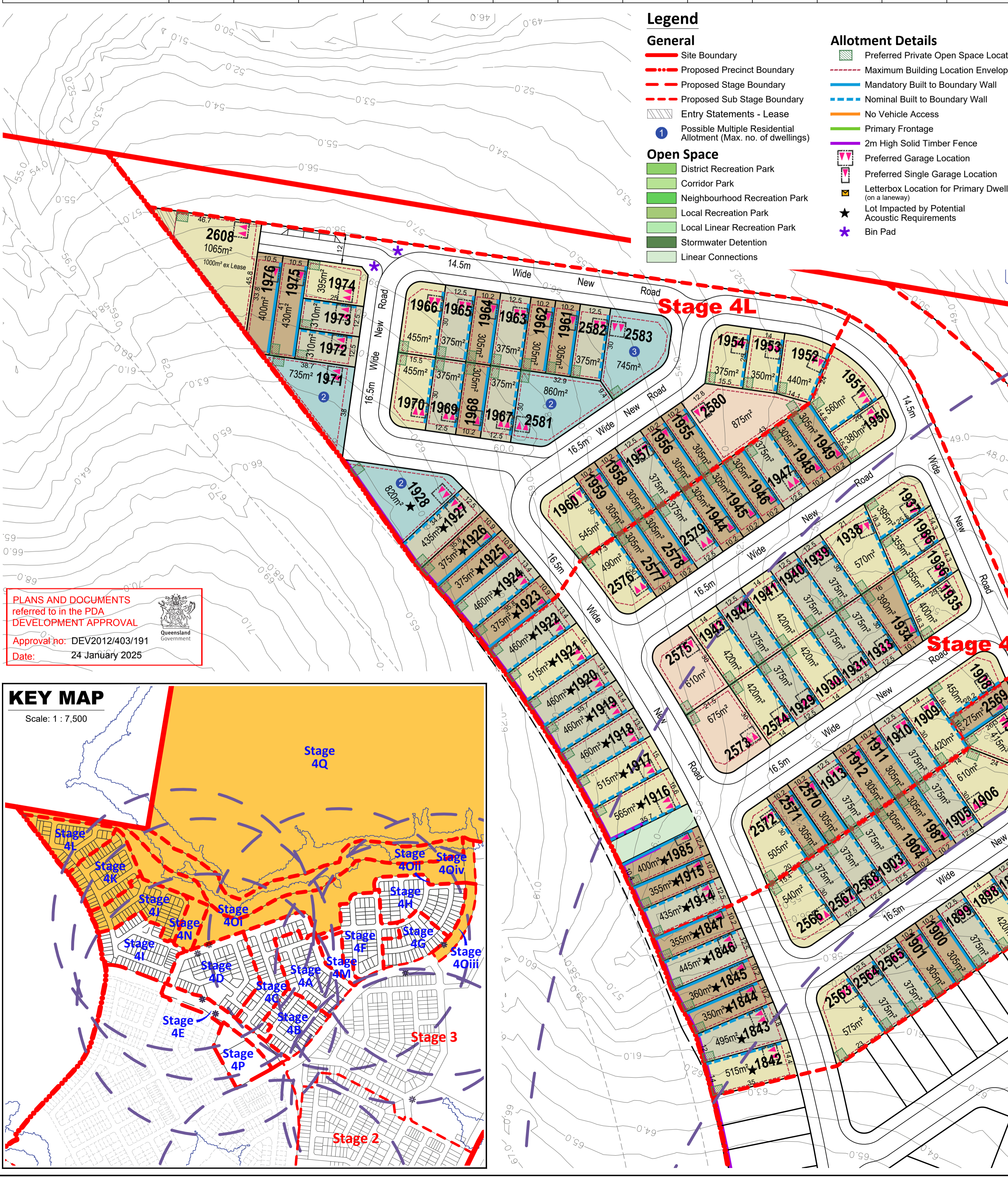
Date:	29 November 2024
Comp By:	NF
Checked By:	MD
DWG Name:	Precinct 1 Stage 4
Job Ref:	110056
Local Authority:	Economic Development Queensland
Locality:	Flagstone
Scale:	1 : 1000
Sheet:	A1
Plan Ref:	110056 - 400
Rev:	AN

**URBAN DESIGN**  
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Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)		
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	n/a	4.5m	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	
Rear	0.0m*	0.0m*	1.5m*	1.5m*	0.0m*	0.0m*	0.9m*	0.9m*	1.0m*	1.5m*	0.9m*	0.9m*	0.9m*	0.9m*	1.0m*	1.0m*	1.0m*	1.5m*	1.5m*	1.5m*	2.0m*	1.5m*	2.0m*	1.5m*	1.5m*		
* Additional setback required on some allotments - refer POD Notes 14-16.																											
<b>Side - General Lots</b>																											
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	n/a	n/a	n/a	n/a	n/a	n/a
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a	n/a	n/a	n/a	n/a	n/a	
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m	
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m	
<b>LaneWAY Lots</b>																											
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a	
<b>Site Cover</b>	90%		75%		75%		75%		75%		75%		65%		60%		60%		60%		60%		60%		60%	75%	



**Notes:**

**General**

- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
- The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
- Maximum building location envelopes are subject to future proposed easements and/or other underground services.
- All lots subject to an acoustic assessment to determine level of acoustic treatments.
- Buildings shall be constructed in accordance with Bushfire AS3959.
- Secondary dwellings are not permitted on lots less than 400m<sup>2</sup>.
- Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
- Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
- Advertising Devices, where associated with a display home/village and temporary in nature, are Exempt Development.

**Setbacks**

- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
- The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- Boundary setbacks are measured to the wall of the structure.
- Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
- Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
- If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
- If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
- Lots 2501 - 2505 require a 2.5m rear setback.
- For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
- A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that have a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
- In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
  - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
  - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

**Private Open Space**

- Private open space must measure a minimum of 10m<sup>2</sup> with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
- Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
  - 1 Bedroom / Studio - 5m<sup>2</sup> (minimum dimension of 1.2m);
  - 2 Bedroom - 9m<sup>2</sup> (minimum dimension on 2.4m);
  - 3+ Bedroom - 12m<sup>2</sup> (minimum dimension of 2.4m)
- Private open space must be directly accessible from a living space.

**On-site car parking and driveways**

- On-site car parking is to be provided in accordance with the following minimum requirements:
  - For lots up to 12.4 metres wide - 1 covered space per dwelling;
  - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
  - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).

**Retaining Walls**

- For retaining walls not constructed by the developer:
  - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
  - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
- No timber retaining walls over 1.0m or adjoining parks or public streets.
- Walls over 1.0m require RPEQ certification.

**Building Articulation**

- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
  - Windows recessed into the façade or bay windows;
  - Balconies, porches or verandahs;
  - Articulation of roof lines
  - Window hoods; and/or
  - Use of multiple cladding materials
- Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room oriented towards the open space.
- Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
- Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
- Homes must include a clearly identifiable and addressed front door and undercover point of entry.
- Screened drying and rubbish bins area must be behind the main face of the dwelling.
- At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

**Slope and Building Footings**

- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
- If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
- Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

**Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)**

- Buildings must address all street frontages with driveways, pedestrian entries or both.
- All dwellings must have a clearly identifiable front door, which is undercover.
- Any driveway and rubbish bin areas must be located behind the main face of the dwelling or suitably screened from public streets and park frontages.
- Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

**Additional Criteria for Secondary Dwellings**

- Floor area must be between a minimum of 30m<sup>2</sup> and 75m<sup>2</sup>.
- Materials, detailing, colours and roof form are consistent with those of the primary house.
- Outdoor living space must measure a minimum of 9m<sup>2</sup> with a minimum dimension in any direction of 3 metres
- Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
- A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
- The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
- Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
- Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

**Definitions**

Laneway Allotment - Allotments serviced by a laneway.

REVISION	
AC: 14/11/2022 Stage 5 Boundary Changes	
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**Note:**

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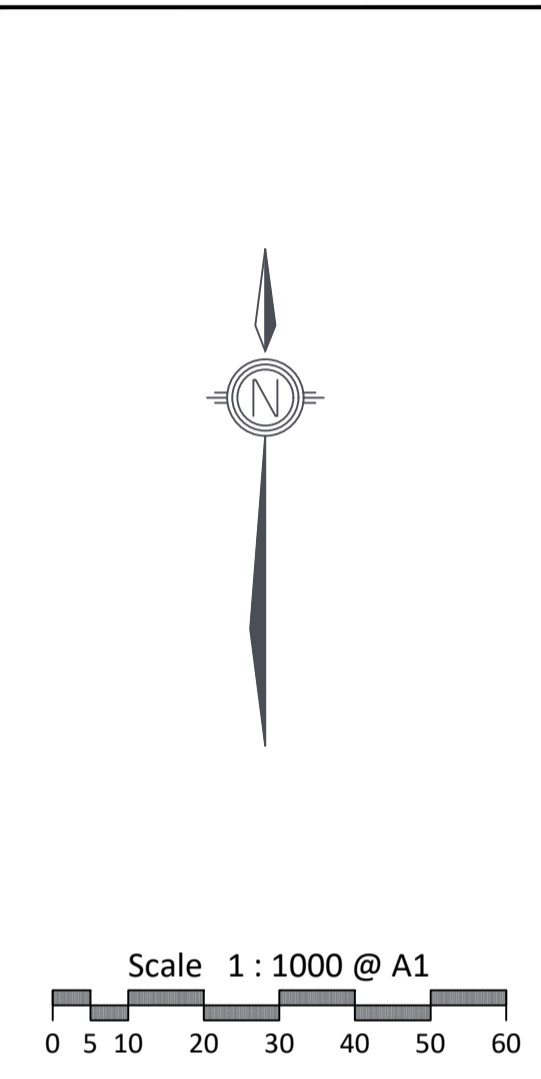
Dimensions have been rounded to the nearest 0.1 metres.

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Road linemarkings and turn slots are indicative only and subject to detailed design.

**Source Information:**  
 Site boundaries: Registered Survey Plans / Veris  
 Adjoining Information: DCDB  
 Contours: Bradlees.



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**PEET**

**PROJECT**

**Flagstone Precinct 1**

Plan of Development Stage 4J, K & L Residential Allotments

Date: 29 November 2024

Comp By: NF

Checked By: MD

DWG Name: Precinct 1 Stage 4

Job Ref: 110056

Local Authority: Economic Development Queensland

Locality: Flagstone

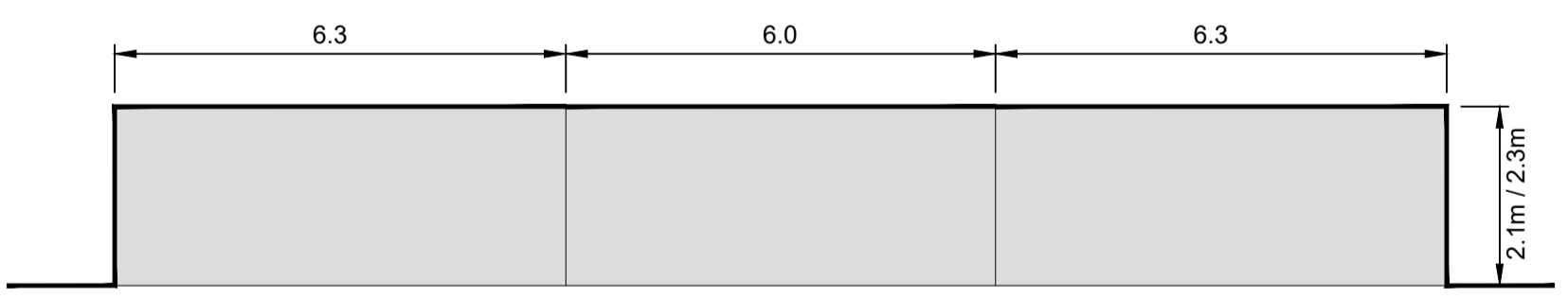
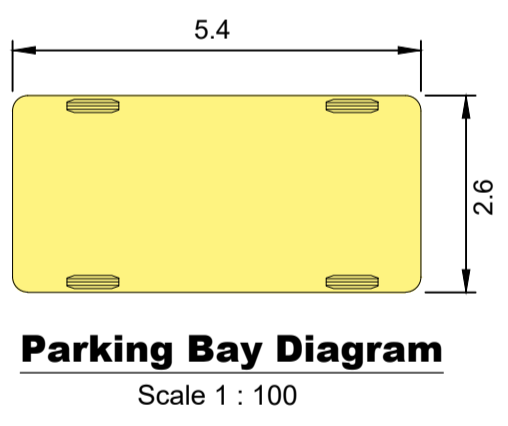
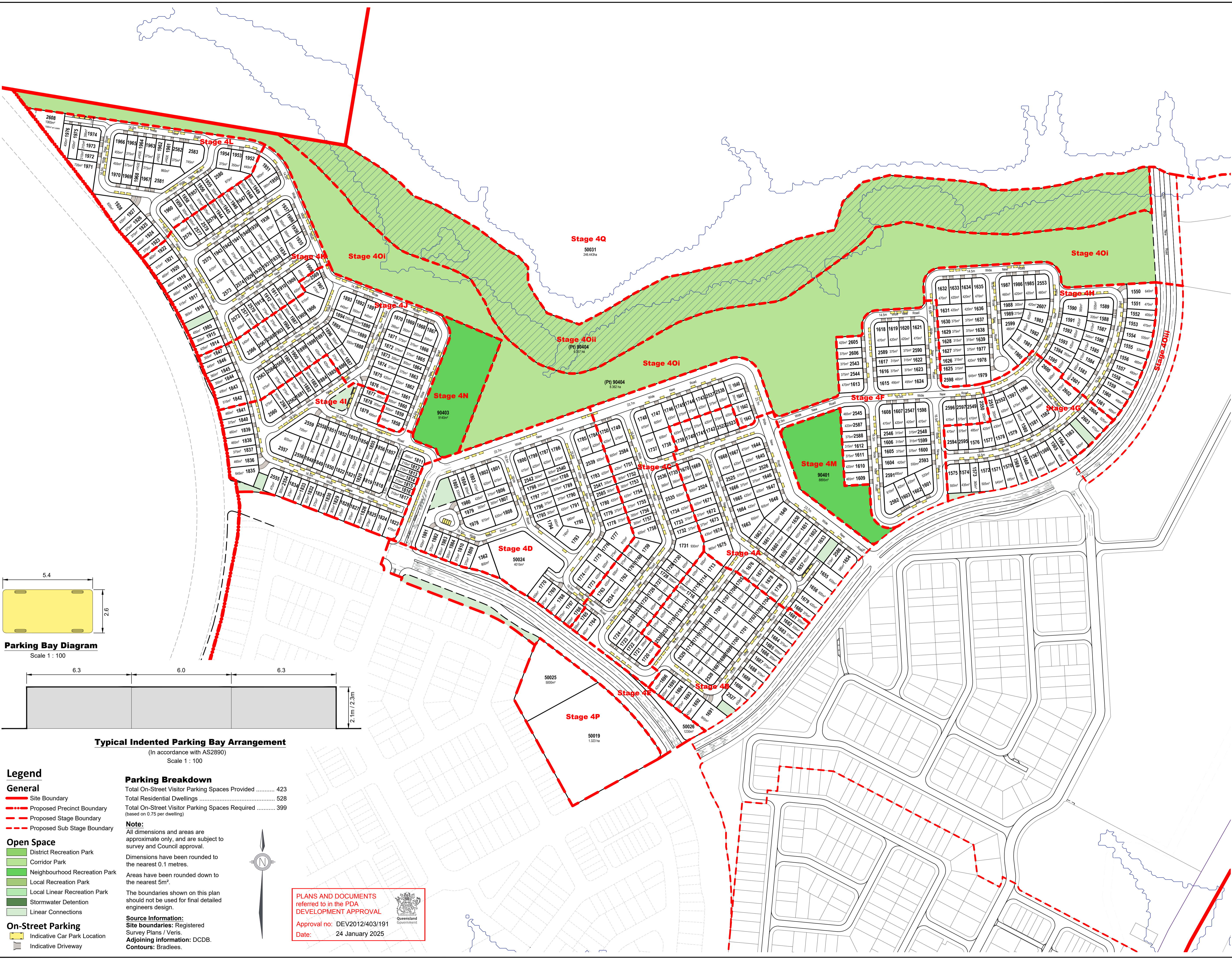
Scale	1 : 1000	Sheet	A1
Plan Ref	110056 - 401	Rev	AN

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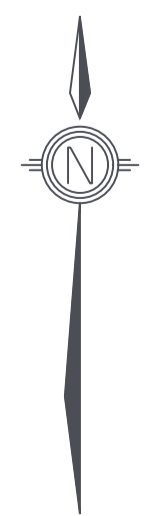
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  - Neighbourhood Recreation Park
  - Local Recreation Park
  - Local Linear Recreation Park
  - Stormwater Detention
  - Linear Connections
- On-Street Parking**
- Indicative Car Park Location
  - Indicative Driveway

**Parking Breakdown**

Total On-Street Visitor Parking Spaces Provided ..... 423  
 Total Residential Dwellings ..... 528  
 Total On-Street Visitor Parking Spaces Required ..... 399  
 (based on 0.75 per dwelling)

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Approval no: DEV2012/403/191  
 Date: 24 January 2025

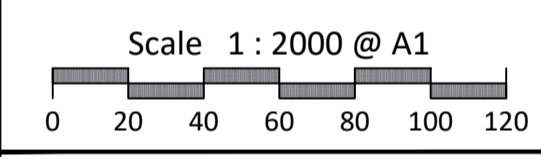
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**PEET**

PROJECT  
**Flagstone Precinct 1**

Plan of Subdivision  
 Stage 4 Overall  
 Parking Management Plan

Date:	29 November 2024
Comp By:	NF
Checked By:	MD
DWG Name:	Precinct 1 Stage 4
Job Ref:	110056
Local Authority:	Economic Development Queensland
Locality:	Flagstone
Scale:	1 : 2000
Sheet:	A1
Plan Ref:	110056 - 402
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